

EALING

Character Study

A2 REPORT

Typologies and Scope for Growth

January 2022

PART A2

typologies and scope
for growth

CONTENTS

PART A2

1	BOROUGH TYPOLOGIES	6
	Overview	6
	Open space	10
	Centres	14
	Campus	20
	Continuous blocks	26
	Free-form	42
2	DEVELOPMENT BLOCKS	52
	Centre	54
	Arterial / corridor	56
	Campus	58
	Urban Perimeter	60
	Suburban perimeter	62
	Garden City principles	64
	Estate free form	66
	Urban cul-de-sac	68
3	BOROUGH AREAS	70
	Acton	72
	Ealing	80
	Perivale	86
	Hanwell	92
	Southall	98
	Greenford	104
	Northolt	110

typologies

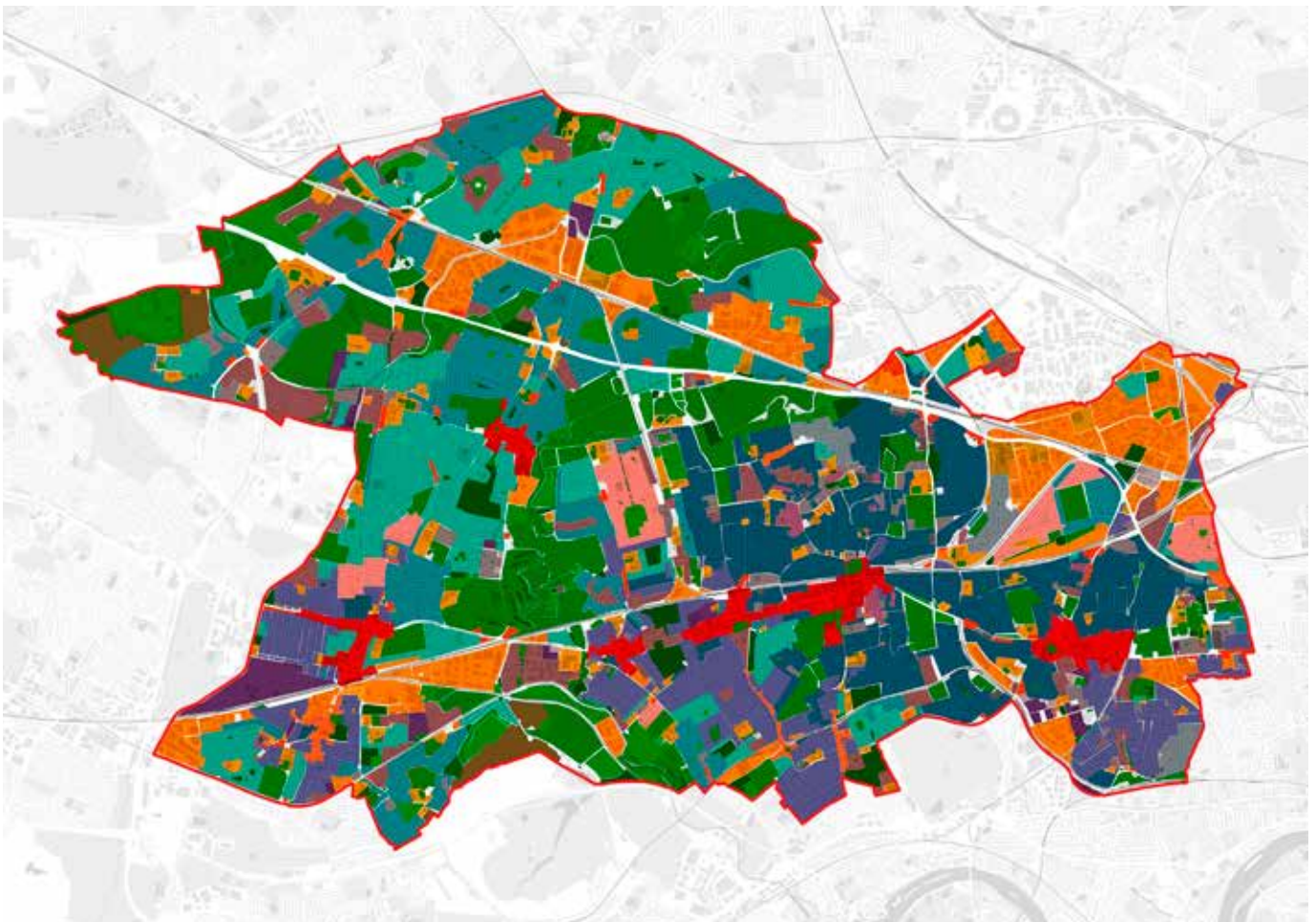
Borough typologies

Ealing is a diverse borough with a complex and intricate pattern of building typologies. The variety of these types across neighbourhoods and broad areas reflects the borough's historic evolution.

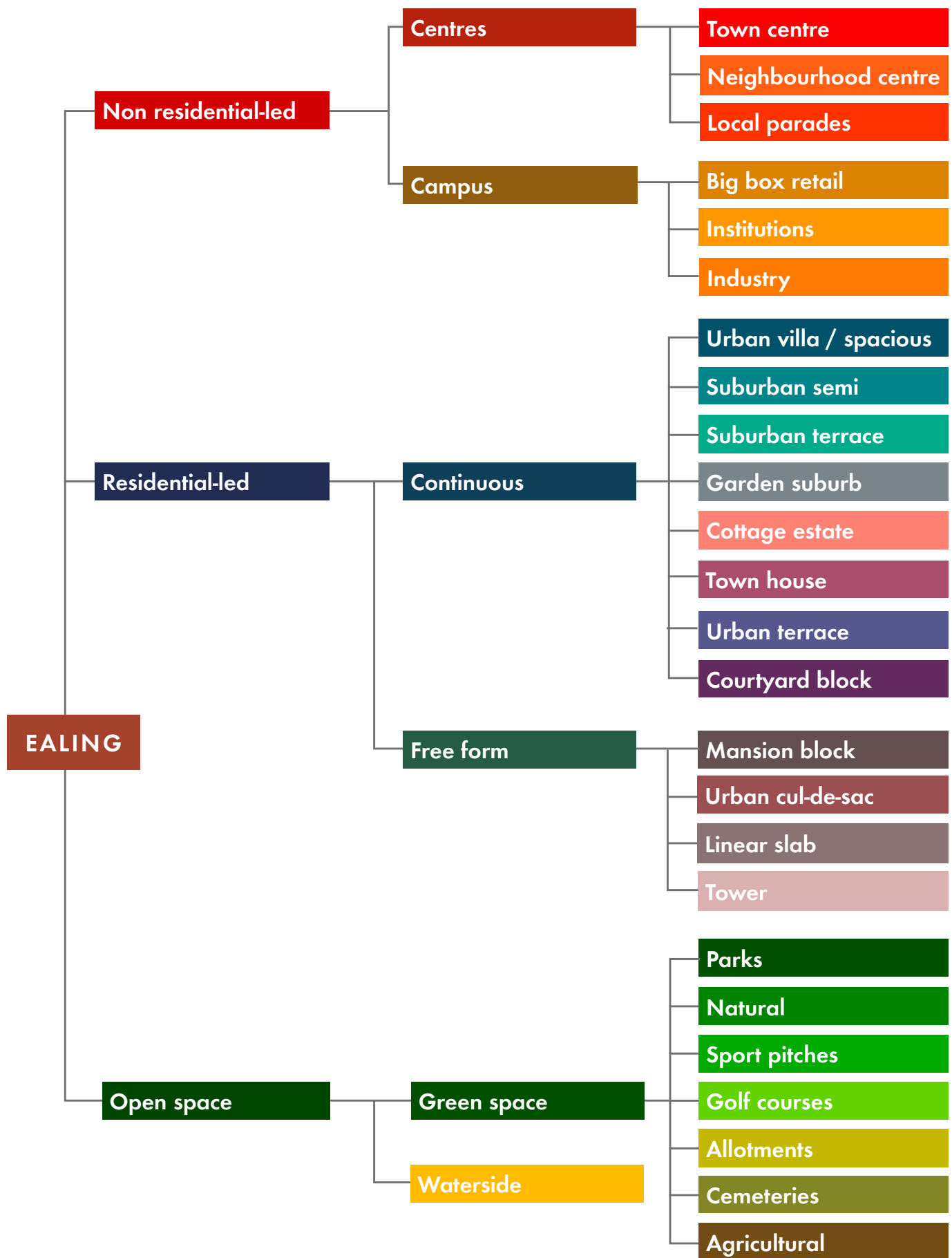
Building types are a primary factor in defining the character of these neighbourhoods. It is, therefore, useful to explore the characteristics of different building types; how they perform in terms of townscape, density, quality of life and sustainability; and opportunities to reinterpret or intensify these building types to help meet London's future housing needs.

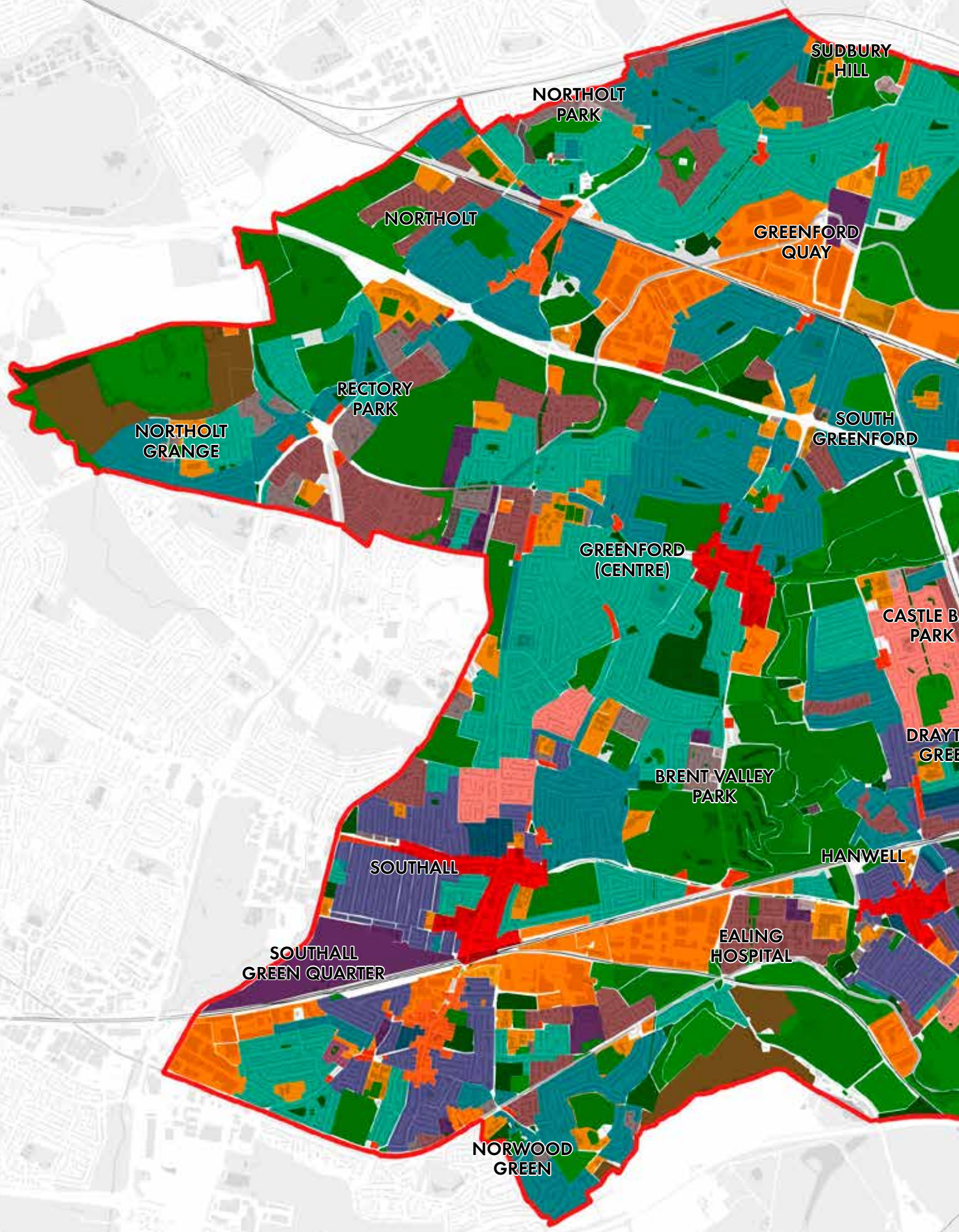
The typology tree to the right sets out a taxonomic reading of Ealing's residential and nonresidential buildings, and the open spaces found across the borough.

A profile of each of these types is provided on the following pages, including key metrics, current examples and precedents for future development.



Borough wide typology plan

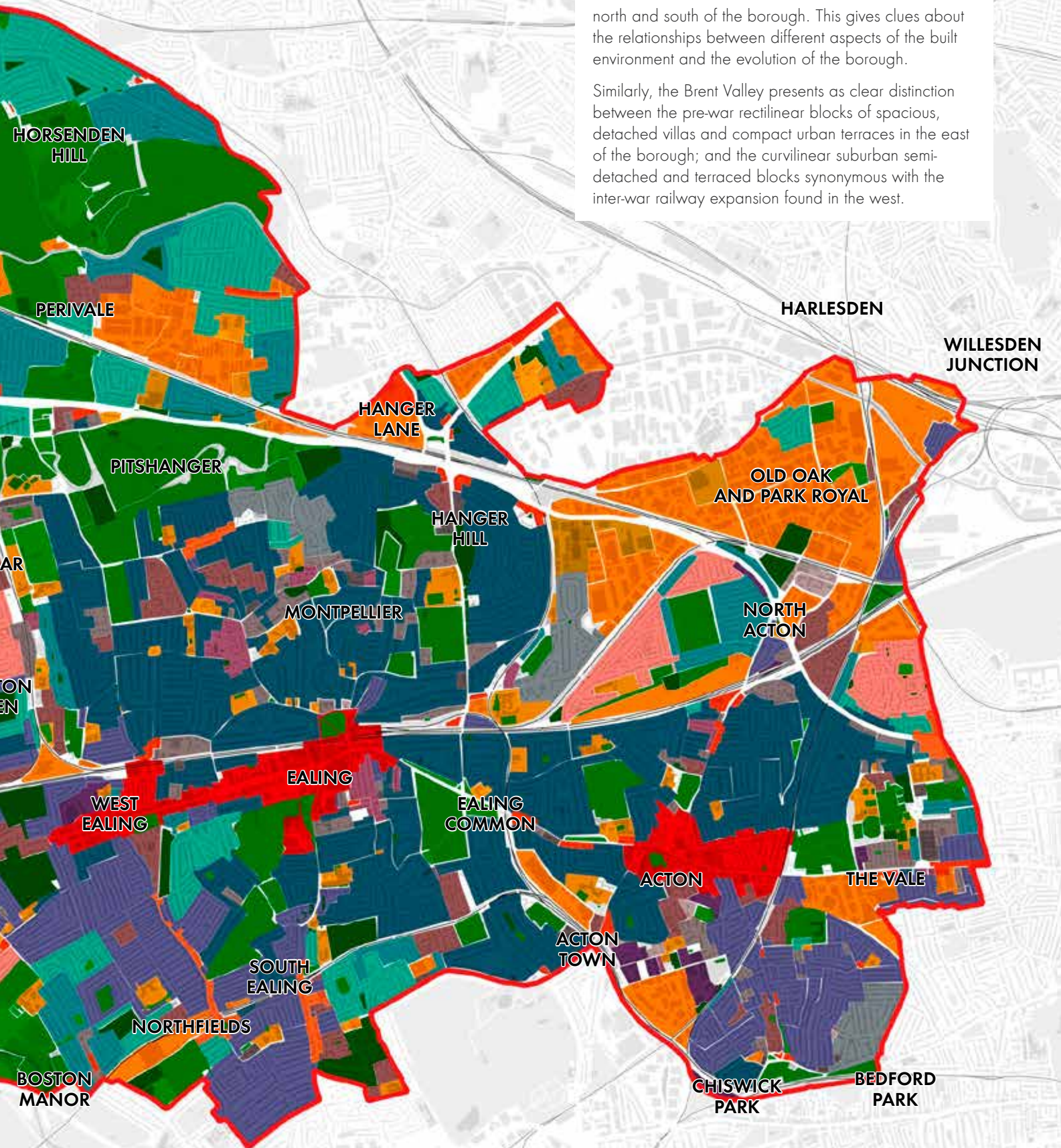




Distribution of typologies

The plan on this spread illustrates the distribution pattern of typologies across Ealing borough. Distinct trends are perceptible at the borough scale, including the lineated pattern of industrial land that follows the spines of the Grand Union Canal and rail lines in both the north and south of the borough. This gives clues about the relationships between different aspects of the built environment and the evolution of the borough.

Similarly, the Brent Valley presents as clear distinction between the pre-war rectilinear blocks of spacious, detached villas and compact urban terraces in the east of the borough; and the curvilinear suburban semi-detached and terraced blocks synonymous with the inter-war railway expansion found in the west.



Profile

- Ealing benefits from a significant volume and diverse types of open space. The west of the borough benefits from greater levels of open space, but an even spread of parks in the east of the borough provides generally decent access for residents.
- The Brent Valley meanders through the centre of the borough, giving good access to natural and river spaces for residents in Perivale, Greenford, Southall and Hanwell.
- Horsenden Hill provides another significant natural space for residents in the north of the borough, with significant views from this point.
- Northala Fields, formed from the previous Wembley Stadium structure, and Rectory Park stands out as another significant resource for Northolt residents.
- The quality and accessibility of open spaces varies significantly across the borough, meaning many spaces are underutilized. Notable examples include Marnham Fields and the green corridors along The Parkway and A40 in Northolt.



View south from Northala Fields



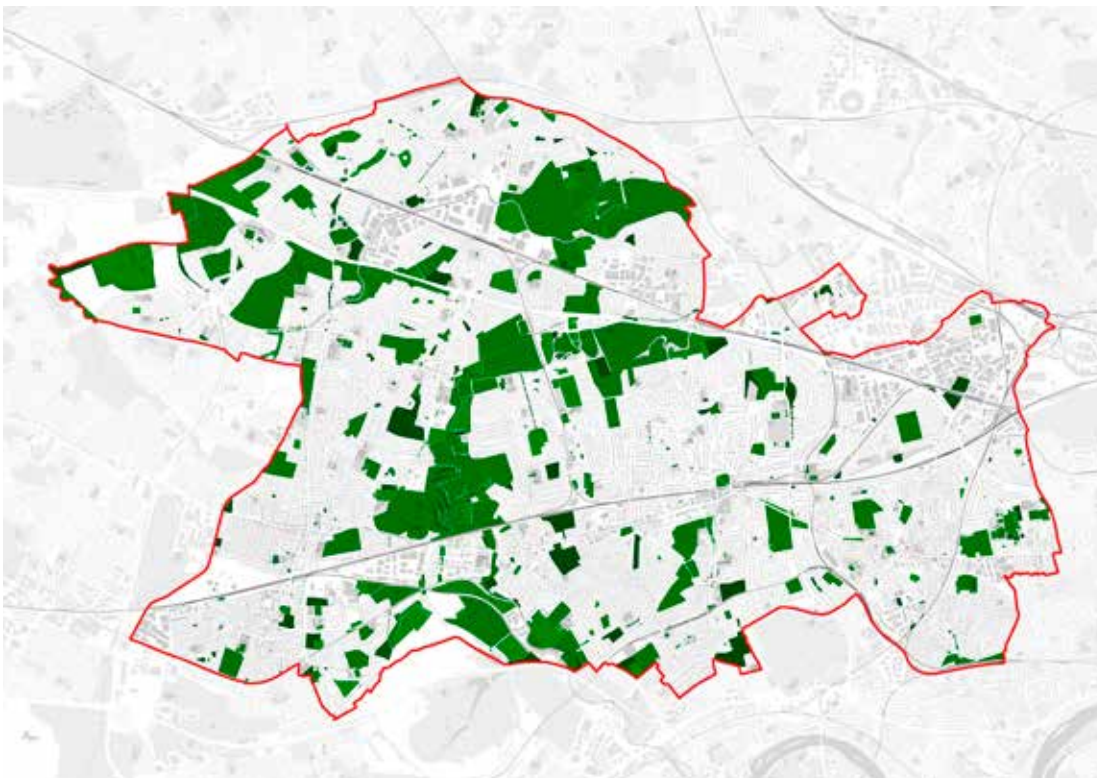
Hanwell Flight of Locks



The Brent Valley



Northala Fields



Open spaces across the borough

Open space

Parks

- Acton Park
- Belvue Park
- Brent Lodge Park
- Cuckoo Park
- Ealing Common
- Hanger Hill Park
- Haven Green
- Lammas Park
- Pitshanger Park
- Walpole Park

Issues and opportunities

- Ealing's parks are well distributed across the borough, providing access to open space, some with historic buildings/structures
- Smaller parks (<2ha) present an opportunity for expansion should development sites arise next to these. This will increase the borough areas meeting GLA standards for residents to live 400m from a 2ha park
- Investment in sports equipment (park gyms) and play areas will help parks to contribute to health and well-being objectives
- Parks can play an important role for outdoor events in fresh air, with social distancing

Example plan



Pitshanger Manor

Natural

- Bittern's Field
- Brent River Park
- Horsenden Hill
- Long Wood
- Marnham Fields/Smith's Farm
- Perivale Wood

- Ealing has natural spaces weaving alongside the Brent River Valley and at Horsenden Hill
- Providing good walking and cycling links from residential areas to these spaces will encourage people to use of these areas and maximise mental and physical health impacts
- Overcoming gaps in the network of green spaces will help to provide a continuous natural link through the borough and improve wildlife habitat continuity



Brent Valley Park

Sport pitches

- Boddington Garden Sports Ground
- Churchfield Recreation Ground
- Osterley Sports Club
- Perivale Sports Ground

- Sports pitches provide versatile open space that can be adapted to different sports or just used as general play areas.
- Ealing have a reasonably good provision of this space, although in some instances, spaces may benefit from play space for younger children within the same open space area.



Perivale Park

Open space

Golf courses

- Northolt Golf Course
- Brent Valley Golf Club
- Ealing Golf Club
- Perivale Park Golf Club
- Hanger Lane Golf Course
- Horsenden Hill Golf Course
- Sudbury Golf Club
- West Middlesex Club
- West London Golf Centre

Issues and opportunities

- Many of Ealing's golf courses are located along the edge of the Brent Valley, making use of space within the flood zone.
- Exceptions to this include the Horsenden Hill, Sudbury, Northolt and West London courses
- In recent years there has been a general decline in use levels at golf courses, which might open up some courses for alternative open space or community uses. This could be particularly useful in the east of the borough.

Example plan



Sudbury Golf Club Course

Allotments

- Brent Meadow
- Brentham
- Dormers Wells
- Framfield
- Horsenden
- Jubilee Road
- Lime Trees 1 and 2
- Northfields
- Pope's Lane
- St Dunstan's
- Wolf Fields

- Ealing is well catered for in terms of allotments, and with space under pressure in recent years, it is important that these sites remain
- Northfields allotments, between West Ealing and Northfields are widely considered to be the oldest allotments in London and remain very popular
- Generous allotment sites are found at planned communities, including Brentham Garden Suburb and Cuckoo Cottage Estate (Framfield)
- Any significant new development should consider how allotments can be included



William Hobbayne Community Gardens

Cemeteries

- Acton Cemetery
- Greenford Park Cemetery
- Havelock Cemetery
- Hortus Cemetery
- South Ealing Cemetery
- RB of Kensington and Chelsea Cemetery (Hanwell)
- City of Westminster Cemetery (Hanwell)

- Five cemeteries are located within the borough that are operated by Ealing Council. These are found at North Acton, Greenford Park, Southall (Havelock and Hortus), and South Ealing.
- The Royal Borough of Kensington and Chelsea Cemetery (found in Hanwell) is Grade II Listed and operated by the Royal Borough of Kensington and Chelsea.
- Cemeteries can play a valuable role beyond their core role in providing diverse types of open space in the borough. Many have mature trees, fauna, seating and a quiet environment



Royal Borough of Kensington and Chelsea Cemetery

Open space

Agricultural

- Sharvel Lane, Northolt

Issues and opportunities

- Northolt is the part of the borough that contains Green Belt land and transitions to a rural environment.
- Much of the Green Belt is comprised of playing fields, open land and golf course but working farmland does exist along Sharvel Lane in the far west of the borough.
- Land here is reasonably elevated with extensive views to the north

Example plan



Downs Barn, Northolt

Waterside

- River Brent
- Grand Union Canal Greenford and Hanwell branches

- Ealing is fortunate to have a number of waterways running through the borough, providing access to waterside walks and the often distinctive areas (whether historic neighbourhoods or industry) that front these routes.
- The River Brent meanders through the centre of the borough, running through Perivale and then southwards between Hanwell (to the east) and Greenford and Southall (to the west). The river merges with the Grand Union Canal just south of Hanwell Flight of Locks.
- The Grand Union Canal has two branches that traverse the borough. A northern route that passes through Park Royal, Greenford and Southall and another running from Hanwell to Southall that meet at Southall International Trading Estate, to the south of the recent Southall Green Quarter development.
- The Grand Union Canal is inaccessible to many Northolt residents due to the limited number of crossing points over to the towpath on the eastern bank.



Brent River Park Elthorne Park Extension



Grand Union Canal, Greenford Quay

Centres

Town centre

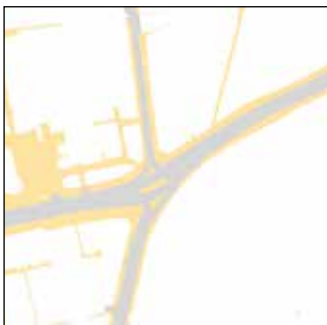
Ealing is home to a network of town centres dispersed across the borough. Principal centres are Ealing, Acton and Southall that cluster along the historic Uxbridge Road. Home to historic buildings, a rich mix of uses and good transport infrastructure, these are some of the most dense parts of the borough.

Profile

- The borough has a hierarchical network of town centres, with Ealing (Metropolitan Centre) being the commercial heart of the borough but others including Acton, Southall, Hanwell and Greenford.
- Typically some of the oldest parts of the borough; town centres are generally established along historic routes, such as the Uxbridge Road. These are focused in the south of the borough.
- Each vary in character and offer but have a strong linear form; with long stretches of continuous frontage along key routes.
- Historic cores of Ealing, Hanwell and Acton are Conservation Areas with a number of heritage assets such as Statutory and Locally Listed Buildings.
- Primarily commercial in function; retail, services and transport nodes are clustered here, though mixed-use and residential schemes are increasing.
- All the centres are ethnically diverse, though Southall has a particularly strong Asian and Asian British population, known locally as Little India.
- Buildings vary in scale and form, representing different periods and styles. Retained historic fabric provides a human scale and fine grain of unit size.

Performance

- Tightly packed plots and a strong urban structure achieve some of the highest densities in the borough without requiring tall buildings, particularly parts of Ealing, Acton and Southall.
- Historic cores have largely retained their grain, though some areas have seen plots amalgamated in keeping with modern development requirements.
- Prevailing heights sit around three storeys, with space above ground floor units used for storage, ancillary space or for residential dwellings.
- Shopping centres, a purely retail typology, are found in Ealing and Acton. Deep plan buildings cover large plots, interrupting the grain, with internal daytime pedestrian routes through.
- Train stations and evening economy uses keep centres vibrant and active with civic life from the morning and into the night.
- Intensely urban, town centres are typically hard landscape environments with areas deficient in access to open space, particularly Southall.
- Streetscapes are typically cluttered with signage, outdoor seating, bus stops and controlled pedestrian crossings, degrading visual amenity.



Key characteristics

- Key locations: Ealing, Acton, Southall
- Typical storey height: 3.5 - 4.5
- Typical length: 500m - 2km
- Typical street width: 20m - 30m
- Typical frontage: dual
- Typical FAR: 1.5 - 1.9
- Typical parking: courts, multi-storey

Clockwise from top left: aerial, figure ground, connectivity, open space



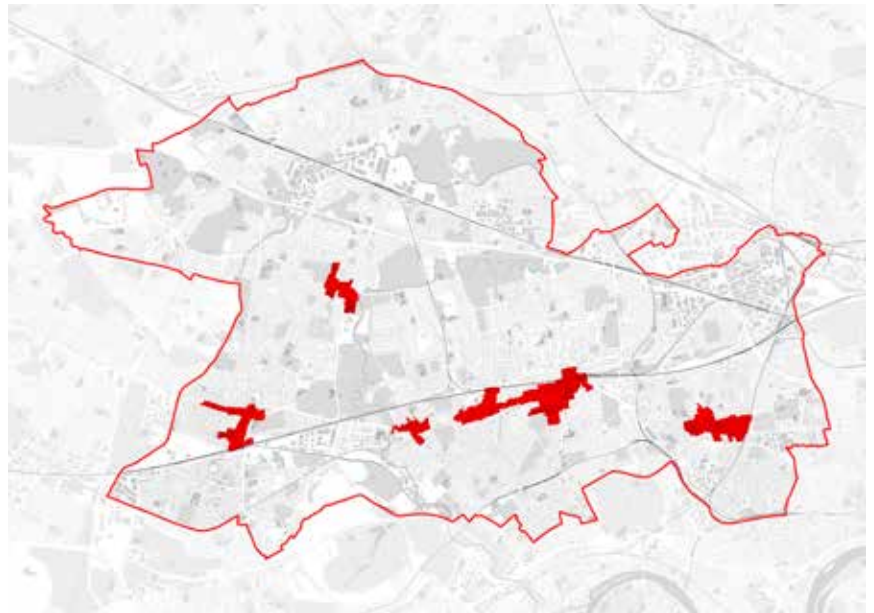
Southall town centre



Acton town centre



Ealing Green and High Street



Distribution of town centres in Ealing

Opportunities

- Designate Westway Cross as a town centre, redeveloping big box buildings and surface car park into a coherent and legible high density urban environment. Priorities include pedestrian connections to Greenford Station and strong relationship to Grand Union Canal.
- Take advantage of services and transport infrastructure by increasing residential dwellings, taking care not to undermine the role of centres through loss of commercial space or frontage.
- Invest in historic environment, using heritage assets as the fulcrum for placemaking and reinforcing local distinctiveness. Explore opportunities for Heritage Action Zone funding for Ealing and Acton town centres - both on the Heritage at Risk Register.
- Repair the urban fabric on larger sites or areas where grain has been lost. Reimagine the role of vacant, low density and mono-use sites.
- Reinforce the role of key routes, densifying plots through scale and massing that addressing the street; whilst respecting the grain, particularly in historic areas. New building stock should demonstrate adaptability between uses, particularly at ground level.



Case study

A new town centre quarter redeveloped an old livestock market site. The scheme carefully extended the historic structure of the centre, transforming the ring road into a city street with frontage, public realm and tree planting. A network of new streets and spaces connects into the surrounding context, with densely packed plots reflecting the city's historic form and scale.

Old Hereford Market, Hereford
Architect: Allies and Morrison

Centres

Neighbourhood centre

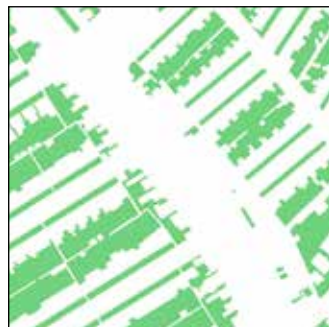
The second tier of centres in Ealing and serve neighbourhoods, with a convenience retail and local services offer. Centres are characteristically linear in form, running for extended stretches along high streets, such as Northfields. They can be located close to town centres, particularly in the south of the borough.

Profile

- The second tier of Ealing's centres are neighbourhood centres. There are 10 in total with the west of the borough experiencing a deficiency.
- They serve a number of commercial functions for local neighbourhoods, including a mixture of comparison and convenience retail. Usually close to train stations and popular bus routes.
- Characteristically linear in form, they provide extended stretches of double and single frontage along a high street, only in rare occasions nucleating at a cross roads e.g. Northolt.
- Short edges of otherwise residential rectilinear plots form a commercial frontage along a historic spine road. This tight linear form results in centres that are typically one plot deep on either side.
- Centres such as King Street, Northfields and South Ealing have a strong relationship to larger town centres nearby, serving a complementary retail and evening economy role for local residents.
- Features a building scale which is larger than the surrounding residential areas, including town houses or urban terraces with retail ground floors. Grain on the whole is finer than town centres.

Performance

- Strong urban - often historic - structure achieves higher densities than surrounding residential areas, with tightly packed plots optimising available land.
- Typically sit on the short edge of rectilinear blocks either side of the high street, creating permeable places with strong frontage.
- Rich mix of uses with commercial, public-facing role on ground floors, with upper floors in use as storage, ancillary space or residential dwellings.
- Centres in predominantly residential areas are typically better integrated and in better condition than those in more urban, mixed-use settings; such as King Street.
- Some lack a consistent frontage, with large vacant sites interrupting finer historic fabric. Poor quality public realm, in addition, blights these centres.
- Centres on the borough's periphery are dislocated from their context and the communities they serve by large footprint warehouses and heavy infrastructure e.g. Park Royal Central, East Acton.
- Public realm quality varies but all generally lack soft landscape elements including street trees; incongruous with the borough's leafy character.



Key characteristics

- Key locations: Northfields, South Ealing
- Typical storey height: 2.5 - 3.5
- Typical length: 280m - 750m
- Typical street width: 20m
- Typical frontage: dual and single
- Typical FAR: 1 - 1.3
- Typical parking: on-street, courts

Clockwise from top left: aerial, figure ground, connectivity, open space



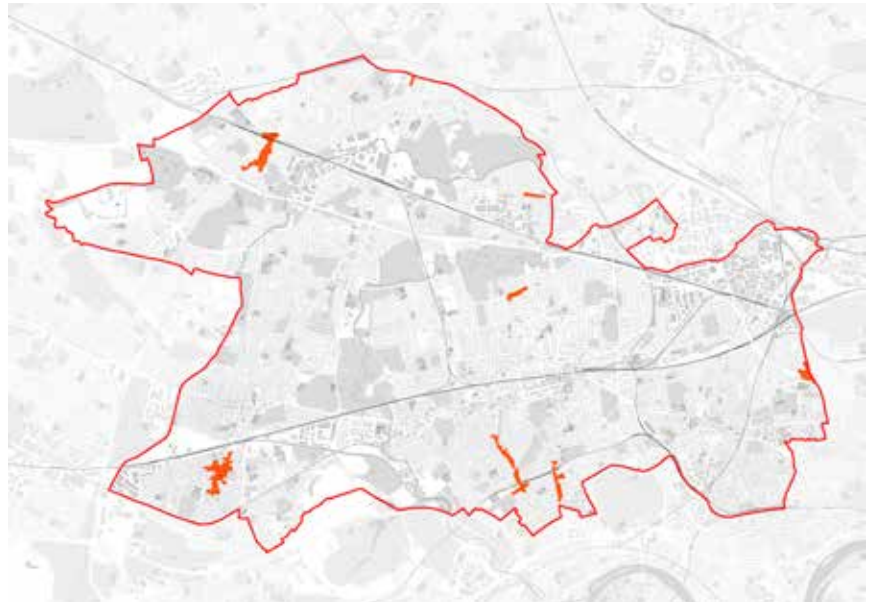
Northolt



Northfields



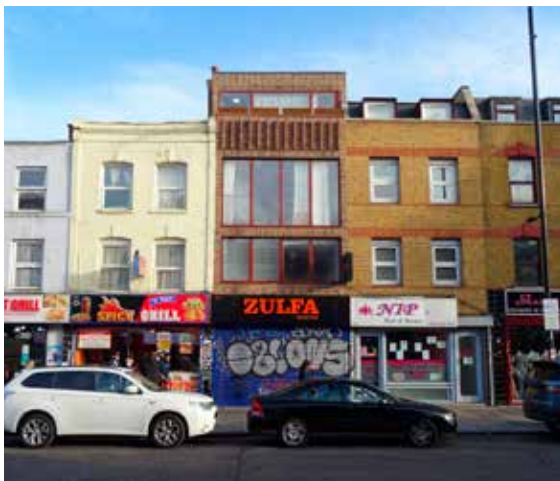
Pitshanger Lane



Distribution of neighbourhood centres in Ealing

Opportunities

- Create a consistent datum and roofline in plots where buildings are lower, such as Northfields single storey buildings. Set backs and mansard roof extensions can gently increase densities along key frontages.
- Manage and improve shop frontages as a part of public realm enhancements, using Heritage Action Zone funding in historic areas.
- Linear form could see comprehensive redevelopment of upper levels to create masonettes or stacked flats with shared circulation. Entire blocks or individual plots could come forward.
- Backland areas for surplus car parking or servicing areas could be rationalised, introducing mews housing behind high streets. Displacement of locally important commercial uses should be avoided.
- Mono-use centres can only be unlocked for residential populations through providing infrastructure first, including public realm enhancements, to support sustainable and well connected communities.
- Enhance the existing town centre around Northolt Station, including intensified employment, retail, leisure, culture, and residential uses, creating a vibrant hub of daytime, evening and night-time activities to support a strong local economy for Northolt.



Case study

A new four storey property was inserted into the high street where a one storey retail unit previously sat. The new building repaired the retail frontage and created a consistent datum, reinforcing the commercial role of the street. Creating a deep plan enabled the creation of three studio flats, alongside a two storey mews building with access already established within the block.

276 Bethnal Green Rd, Hackney, London
Architect: Gordon Shrigley Architecture

Centres

Local parades

The third tier of centres in Ealing, local parades have a small catchment and serve immediate communities. Typically a short terrace, single frontage of convenience shops. Distributed across the borough, parades are mostly well integrated with their residential setting in form and scale.

Profile

- Local parades are evenly distributed across the borough, providing small clusters of convenience shops that serve an immediate catchment.
- Set over 2 to 3 levels, parades are often single fronted ground level units with storage, ancillary use or residential units above; maisonettes or flats.
- The most modest parades are brief stretches of two storey terraces converted from residential use, often clustered at major road infrastructure junctions, reflecting limited profile and appeal.
- Others form long stretches of frontage with blocks either running parallel with principal routes e.g. Lady Margaret Road; or runs of short terraces at the end of perpendicular blocks e.g. Bilton Road.
- The most established parades are products of the late 1930s, with long stretches of 3 storey maisonettes above ground floor units. These sit tall and proud, often at the nexus of key routes, such as Hanger Lane and Allenby Road.
- Buildings vary in design and style but parades from this period have influences from the Moderne style, including a strong sense of symmetry.

Performance

- Great variation in setting and structure, with the most successful parades tending to form long streets in their own right along historic routes.
- Parades from the 1930s generally have tall floor to ceiling heights over 3 levels, creating a positive frontage to the street and opportunities for adaptability between uses.
- Generally higher densities than the surrounding residential network due to taller building heights, tightly packed over narrow plots depths.
- More recent parades from the late 20th and early 21st century are less well integrated with the urban fabric, particularly when dislocated by heavy road infrastructure, such as Norbrek Parade.
- Often set back from the main route with a separate street and green verge, creating an attractive pedestrian environment and short-stay parking.
- Public realm quality varies across parades, typically poorer when fronting major roads with heavy traffic flows and limited pedestrian environment.
- Parades form important everyday infrastructure for communities, particularly in car dominated urban cul-de-sac blocks, such as Ridgeway Walk.



Key characteristics

- Key locations: Hanger Hill, Horn Lane
- Typical storey height: 2 - 3
- Typical length: 70m - 350m
- Typical street width: 20m - 25m
- Typical frontage: single
- Typical FAR: 0.7 - 0.9
- Typical parking: on-street, short stay

Clockwise from top left: aerial, figure ground, connectivity, open space



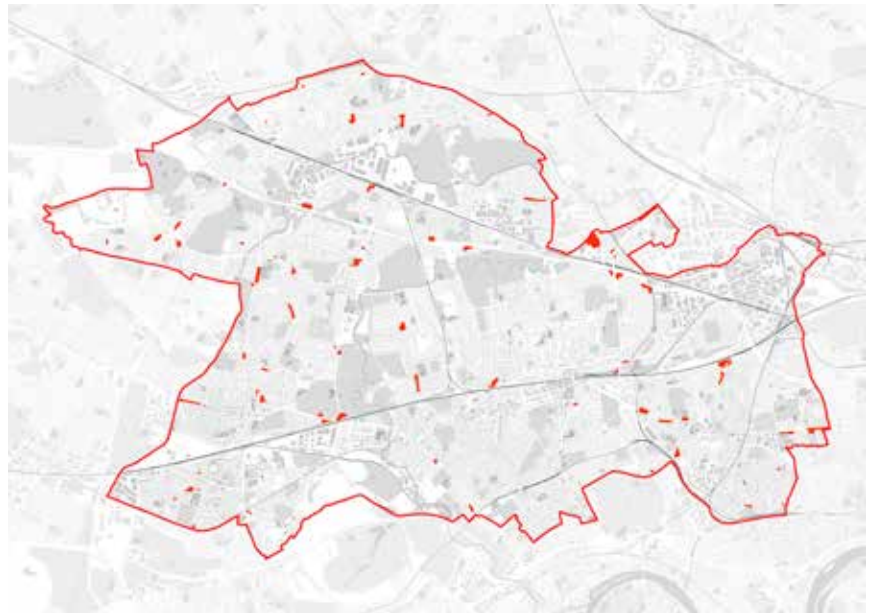
Lady Margaret Road, Southall



Hanger Lane



Greenford Avenue, Hanwell



Distribution of local parades in Ealing

Opportunities

- Public realm and facade enhancements can enhance the offer of historic parades, reinforcing their desirability as a convenient destination to shop. Parking here is less essential, which could release space for improvements
- Consolidate and grow the existing commercial offer of local parades at the White Hart roundabout, designating a new town centre to serve the residents of Northolt Mandeville and support a strong local economy.
- Opportunities exist to reimagine the role of parades, introducing more diverse commercial uses including work space to create more resilient places. Strategic review should promote intervention in areas deficient in access to services and likely to see increasing residential densities.
- Enhance shop fronts, ground floors and public realm through Heritage Action Zones. Explore adapting ground floors to accommodate alternative futures beyond retail e.g. workspace and residential dwellings.
- Linear blocks could see redevelopment of upper levels to create maisonettes or stacked flats with shared circulation. Backland areas could be rationalised, introducing mews housing behind parades.



Google streetview



Meanwhile Space

Case study

As part of a wider regeneration scheme by housing association, Poplar HARCA, and developer, EcoWorld, Aberfeldy Street has been transformed with bright colours inspired by fabrics donated by members of the largely Bangladeshi community. The scheme also supports local businesses, offering one year rent free, business support/advice and start up funding opportunities.

**Aberfeldy Street, Poplar
Meanwhile Space**

Campus

Big box retail

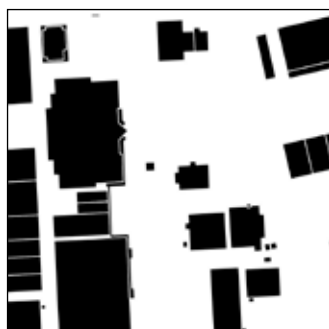
Big box retail is a campus environment with commercial leisure uses such as supermarkets, cinemas and bowling alleys. Housed within large warehouses or 'big box' buildings, they are arranged around surface car parking, the public realm is of poor quality and usually inaccessible by walking or cycling.

Profile

- Big box retail is rare to the borough, with Royale Leisure Park (Park Royal) and Westway Cross Retail Park (Greenford) being the two main examples.
- Big box retail blocks share many common characteristics with industrial land, namely being very vehicular-based environments with poor walking or cycling connectivity.
- Similar to industrial land, they are characterised by warehouse and 'big box' buildings, accommodating retail and commercial leisure uses such as supermarkets, cinemas and bowling alleys.
- 'Out of town' destinations, Big box retails offer convenience if travelling by car due to availability of car parking - as opposed to busier town centres.
- Buildings are usually 1 to 3 levels in height and large footprint, creating large volumes to accommodate uses. Buildings are modern warehouses in style with little architectural merit.
- Large areas of surface car parking are provided with access from major vehicular routes, such as the A40 at the Royale Leisure Park.
- Grain varies though is large footprint and usually in a loose rectilinear arrangement, with large areas for car parking or servicing between buildings.

Performance

- Generally an inefficient use of land, with excessively large volume buildings often accommodating formerly town centre uses such as cinemas, restaurants and retail.
- Poor quality pedestrian environment, with little or no walking or cycling connections into the wider context. Public realm is dominated by car parking with large stretches of blank frontage.
- Hard landscape environment with few trees and no open green space. Large areas of tarmac are likely to create a strong urban heat island effect.
- Buildings are large footprint and offer little adaptability to alternative uses except industrial or storage and distribution; both mono-use and unsustainable choices.
- The most successful areas are clusters of smaller units with continuous frontage and better definition between spaces for pedestrians and cars e.g. outside of building entrances.
- Employment densities could be achieved through a higher density environment and smaller land take, with uses better suited to town centres with good public transport accessibility.



Key characteristics

- Key locations: Park Royal
- Typical storey height: 1 - 3
- Typical block depth: 150m
- Typical street width: 45m - 55m
- Typical frontage: small glazed entrance
- Typical FAR: 1.3 - 1.5
- Typical parking: surface car parks
- Public open space: none

Clockwise from top left: aerial, figure ground, connectivity, open space



Royale Leisure Park



Fast food and cafes at a retail park



Vue Cinema at Royale Leisure Park



Distribution of big box retail in Ealing

Opportunities

- Introducing a finer grain of buildings and spaces should be a priority to create a stronger and more pedestrian-friendly urban structure.
- A well-defined street hierarchy should create a ordered environment, maximising opportunities to connect into existing movement networks outside of the retail park.
- New development could be mixed-use, reinforcing the commercial leisure and retail role of the destination, whilst introducing residential on upper levels to create more resilient communities.
- Softening the edges of development by investing in public realm and landscape outside of the red line boundary - blurring the lines between existing and new, stitching into the existing fabric of place.
- Development at edges should come forward first, creating a gradual transition in scale and change of use between low density surroundings and higher density proposals maximising land efficiency.
- Designate Westway Cross as a town centre redeveloping big box buildings and surface car park into a coherent and legible high density urban environment.

Campus

Institutions

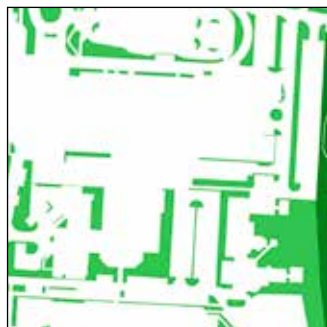
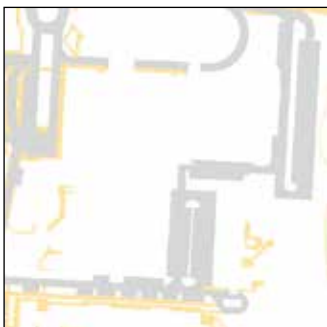
Usually associated with specific functions including schools, hospitals or civic uses. Typically a collection of buildings set deep within the middle of a site or large block. Gradual expansion can be seen through piecemeal development and accretions, creating an impermeable and illegible environment.

Profile

- Institution blocks are typically mono-use and serve specific community-facing functions such as schools, colleges, places of worship, hospitals or civic buildings such as community centres.
- Although performing specific functions, a common urban form can be associated with this type of block. They are typically characterised by buildings standing within grounds, set back from the street.
- Security considerations are usually key given the sensitive uses such as schools, hospitals and therefore have a strong boundary treatment with limited points of entry.
- Schools are the most common institution blocks found in Ealing, often including areas of open space such as playing fields.
- Ealing Hospital in Hanwell, is the largest institution block in the borough, characterised by several high density, interlocking buildings and a large amount of surface car parking.
- Buildings can vary widely in their period and character, ranging from Victorian and Edwardian school buildings, to very low-rise 1960s buildings, to high density modern designs.

Performance

- Strong boundary treatments and a lack of walking and cycling routes can create severance from the surrounding communities.
- Grounds are often green and well planted, though apart from school playing fields, often lack a defined use - often feeling redundant and left over.
- Piecemeal development and gradual accretions can create an impermeable and illegible layout difficult to navigate, especially for visitors.
- Older institutions can be home to historic buildings, where insensitive accretions and surface car parking damage their heritage value and setting.
- Demarcation of entrances and points of access vary. Older examples express this through facade and fenestration; recent examples rely on signage.
- All institutions in Ealing incorporate some element of green space and tree planting, in keeping with the borough's leafy character, which is positive.
- Tall floor to ceiling heights and rich architectural character means Victorian and Edwardian buildings lend themselves to re-use in residential conversions, whilst 1960s and more recent examples are less adaptable across uses.



Key characteristics

- Key locations: Hanwell
- Typical storey height: 1 - 4
- Typical block depth: 60m - 160m
- Typical street width: 45m - 55m
- Typical frontage: poorly defined entrance
- Typical FAR: 0.6 - 0.9
- Typical parking: surface car parks
- Public open space: planted grounds

Clockwise from top left: aerial, figure ground, connectivity, open space



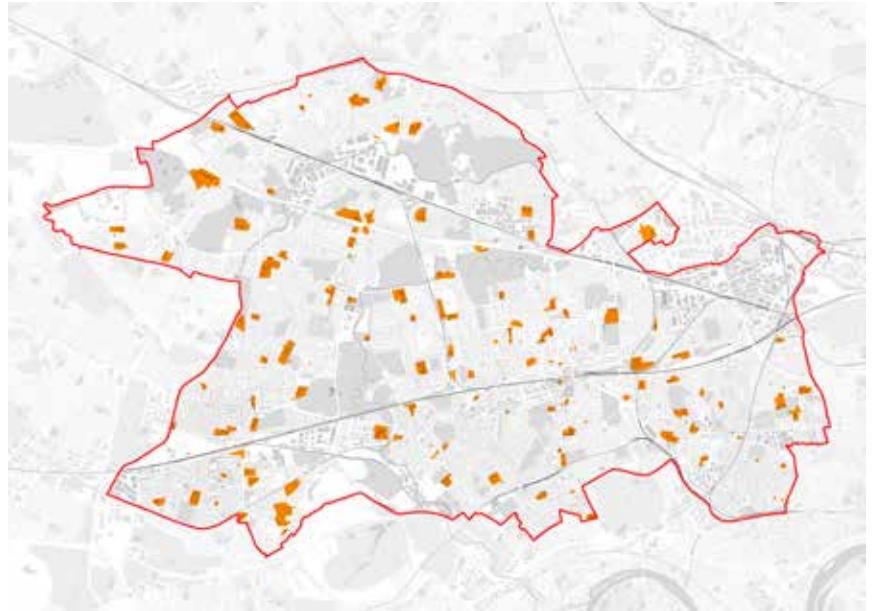
Ealing Hospital in Hanwell



Trailfinders Sports Club



Hanwell Community Centre



Distribution of campuses in Ealing

Opportunities

- Historic buildings should see investment in their fabric and setting to maximise the placemaking potential and celebrate the rich heritage of the borough.
- Strategic vision is needed for comprehensive redevelopment of redundant or underutilised sites, setting out objectives, options for scale of intervention and phasing.
- Long term development of assets such as hospitals should take care not to stymie future development as land is released for redevelopment e.g. stopping up of routes and insular layouts.
- Maximise use of grounds and open green space, balancing the need for secure thresholds with potential community benefit. Temporal management could see pedestrian connections open through the day to reduce reliance on vehicular modes of travel.
- Frontage of streets and open space should be prioritised where possible, to create more passive surveillance by users of the building.



Case study

Ealing Hospital has seen been subject to high density perimeter block residential development alongside the more historic hospital buildings.

The scale steps up from existing buildings, with private balcony space is provided. Parking is accommodated within podium blocks and investment has been made in landscaping. However, integration with surrounding neighbourhoods is poor due to phased delivery and a lack of overall masterplan and local amenities are very limited given the isolated location.

Ealing Hospital, Hanwell
Catalyst Housing Association
Architect: Hester Architects

Campus

Industry

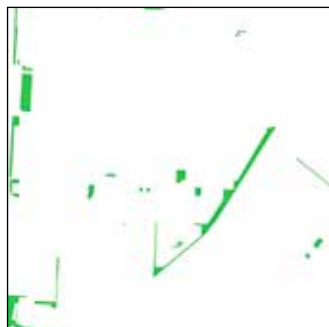
A range of industrial land can be found with the largest swathes contiguous with the Acton - Northolt Line and the Great Western Rail Line. Small pockets can be found on the edge of residential areas across the borough. Characterised by coarse grain, big box buildings and poor public realm.

Profile

- Industrial blocks are characterised by large footprint sheds, warehouses and modern 'big box' buildings organised in an illegible, coarse grain with a poor pedestrian environment.
- Smaller, historic industrial blocks are more densely packed, defined by a finer grain and rich mix of interlocking sheds and Victorian warehouses e.g. The Vale, parts of Perivale, parts of Old Oak.
- Finer grain blocks can create a rich fabric of spaces that accommodate a mix of employment uses, whilst modern facilities tend to be mono-use, serving storage and distribution needs.
- At the smallest scale, railway arches can accommodate industry, with many employment areas contiguous with radial rail lines that traverse the borough e.g. Acton - Northolt Line.
- Recent industrial buildings offer little architectural merit, using iron and steel cladding to create cheap, large volume spaces over 1 to 3 levels.
- Historic examples are often home to Victorian warehouses set over 2 to 6 levels with rich detailing, Crittal windows, brickwork and strong townscape character.

Performance

- Characterised by a hard landscape and poor quality pedestrian environment dominated by vehicular access and servicing.
- Boundary treatments tend to be poorly defined, often with a thin tree line providing little screening between residential areas and noisier industrial uses and regular heavy vehicle movements.
- The built form of modern industrial blocks present little opportunity for future adaptation between uses, with their coarse grain, low scale and lack of a defined street network.
- Historic blocks often have densely packed plots, interlocking to create smaller blocks that work more seamlessly with neighbouring uses and can have a distinctive pattern of framed yard spaces.
- Tall floor to ceiling heights, deep plans and large windows allow many Victorian warehouses to be adapted to accommodate contemporary employment needs e.g. co-working space for SMEs, as well as conversion to residential use.
- Permitted Development Rights has seen some industrial land lost to poor quality residential properties in parts e.g. The Vale, Acton.



Key characteristics

- Key locations: Old Oak, Greenford
- Typical storey height: 1 - 3
- Typical block depth: 65m - 180m
- Typical street width: 16m - 35m
- Typical frontage: poorly defined entrance
- Typical FAR: 0.9 - 1.3
- Typical parking: surface car parks
- Public open space: none

Clockwise from top left: aerial, figure ground, connectivity, open space



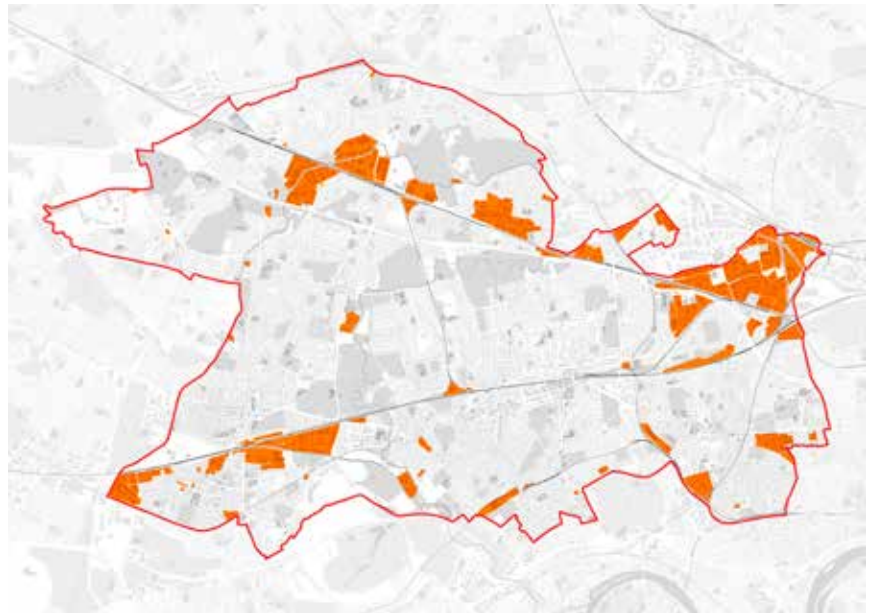
Historic industrial buildings at Park Royal



Car phone warehouse, facing onto the A40



Modern industrial buildings at Park Royal



Distribution of industry in Ealing

Opportunities

- Better use of brownfield land, including industrial land, represents a sustainable type of growth. Higher densities can generally be accommodated on large industrial sites given their typically low scale, loose arrangement and large areas of surface parking.
- Employment-led intensification could provide improved public realm, frontage to roads and key junctions, and create a more positive edge condition with neighbours, whilst retaining and enhancing the quality and continued function of employment uses to support existing and increased local employment opportunities.
- Some uses are informally becoming front-facing, such as Paul bakery, Park Royal. This temporal arrangement can be supported, though introducing mixed uses should not result in the loss of industrial floorspace.
- Potential for intensification at Northolt/ Greenford/ Perivale SIL (providing 34% of the borough employment land) should be explored as part of a borough-wide study. (Source: West London Employment Land Evidence, May 2019)
- Retain, intensify and add industrial floorspace across the borough to support a broader range of jobs in the green economy and growth sectors. This can include retaining and adapting heritage buildings.



VSAP



VSAP

Case study

Kaap Noord established at Amsterdam waterfront combines small industrial units, light fit-out, flexible work space and rooftop parking to stack employment uses more intensively (providing higher jobs density) and maintain an accessible surrounding public realm that is not given over entirely to vehicle movements and parking.

Kaap Noord, Amsterdam, NL
Architect: BBVH /VSAP architects

Continuous

Villa / spacious

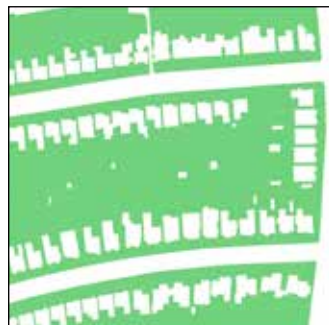
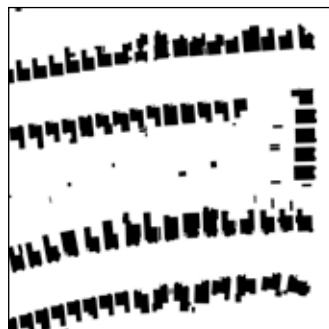
Lowest density of the continuous block typically characterising some of the most sought-after areas of Ealing, including Ealing Town and South Acton. Typically of the Victorian or Edwardian period. Found on or near important, historic routes lined with mature street trees, such as London Planes.

Profile

- Often found close to stations, on or around major historic routes and historic centres.
- Large individual plots both wide and deep, able to accommodate substantial buildings that can be double fronted.
- Generous plots provide for front and rear amenity space, including large gardens. Some front gardens have been paved for off-street parking.
- Can form part of a family or set with square frontage that is well set back from the street. Buildings are larger than later suburban housing, in terms of number of rooms, scale and proportion.
- Buildings vary in style and detail depending on period, typically Victorian and Edwardian but with some Arts and Crafts examples. Generally made from brick with fine, craft detailing including timber door and window frames.
- Common characteristics include hipped roofs; vertically articulated front facades; tall floor to ceiling heights; and tall roof spaces.
- The grand scale of buildings and location on important routes are typically associated with mature street trees, creating a leafy character.

Performance

- Very low density for single unit family homes.
- Generous private amenity space, usually with long rear gardens running to the centre of the block.
- Large scale can allow sub-division into flats, as a source of additional homes. This can improve density levels but has been done both sensitively and poorly within the borough.
- HMO conversion can lead to excessive off-street parking and refuse storage in front yards, degrading the historic streetscape character.
- Buildings generally provide very positive, articulated frontage to the street. This presence is most positive when front garden are not paved.
- In terms of energy, very large spaces and tall ceilings can make these buildings difficult to heat and energy hungry.
- Paving or tarmaced front gardens significantly reduced natural drainage in local areas and can hinder climate mitigation measures



Key characteristics

- Key locations: Ealing, Acton
- Typical storey height: 2 - 2.5
- Typical block depth: 75m - 150m
- Typical street width: 30m
- Typical dph density: 25 - 35 dph
- Typical FAR density: 0.6 - 0.8
- Typical parking: off-street spaces
- Public open space: None
- Private amenity space: Front and back
- Typical green space ratio: 1.5 : 1

Clockwise from top left: aerial, figure ground, connectivity, open space



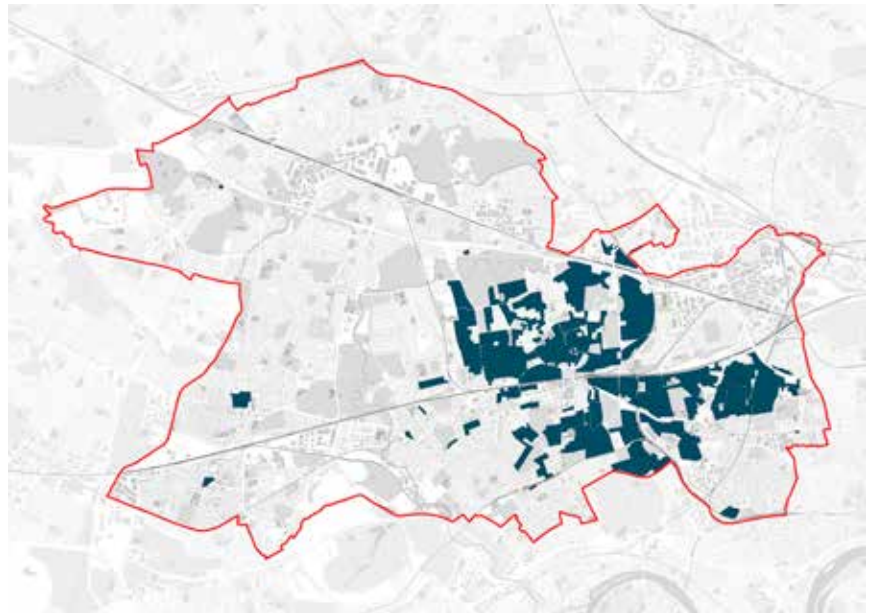
May villas have seen front gardens paved



North Ealing area



Central Ealing double fronted villa



Distribution of villas / spacious in Ealing

Opportunities

- 2 - 2.5 levels and large proportions of buildings provides opportunity for replacement with more dense typologies, such as mansion blocks (if not of architectural merit) or sensitive conversion to multiple occupation
- Opportunity exists to maximise existing building efficiency by converting loft space. Dormer windows should be concentrated on rear elevation to retain integrity of front facades.
- Plot dimensions could support development of mews housing through conversion of former outbuildings at the ends of large rear gardens, with wide plots supporting a perforated block for access and egress
- Building line set backs from the street should be respected and encouragement given for front gardens to be reinstated to improve natural drainage levels and climate mitigation.
- Vertical proportions should form an important component of modern interpretation of villas and other spacious, detached typologies.
- Whilst spacious plots and grand buildings are intrinsic characteristics, over-development of plots should be avoided; maintaining space between neighbouring properties and clear boundary treatment.



Case study

14 typologies over a mix of tenures including family-sized units for social rent. The appearance, detail and materiality of new buildings is drawn from the palette and character of the conservation area. Massing and arrangement on the site reflects historic patterns, with new buildings along Finchley Road designed as pairs of villas, consistent with the urban streetscape.

Kidderpore Green, Hampstead, London
Architect: Allies and Morrison

Continuous

Suburban semi

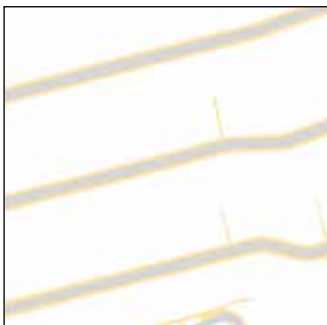
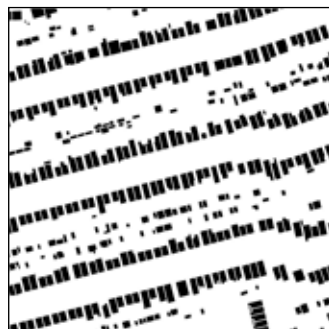
Suburban semi-detached blocks are a low density typology, typically a product of private sector development. Pairs of dwellings have a strong relationship to soft landscape elements including front gardens and mature, tree-lined streets. Common to areas including West Acton and North Acton.

Profile

- A low density form of continuous block, suburban semi-detached blocks are spacious and organised in loose grids that respond to topography.
- Blocks are arranged in regular linear grids bound by parallel streets; and flexible grids taking a more relaxed form with curved roads.
- Associated with inter-war development, blocks are common on the fringes of historic centres and stations, such as Ealing Town and Acton, where there was pressure to expand attractive parts of the borough accessible by train.
- Substantial buildings form pairs of single dwellings that are set back from the street with front gardens and off-street parking, occasionally with garages.
- Characterised by high pitched hipped and dormer roofs, brick and render surfaces, craft detailing, timber window and door frames.
- Loose arrangement and deep blocks creates spacious feel, with large individual plots allowing space between buildings and large rear gardens.
- Blocks can occasionally be home to bungalows set within generous plots and large gardens in areas including Acton.

Performance

- Low density typology with pairs of single dwelling units, usually family homes.
- Plot widths vary but provide generous private amenity space, including front parking and long rear gardens running to the centre of the block.
- Proportions are less vertical with wider individual plots and generous spacing between pairs, giving a more open feel to the street.
- Many gaps between buildings have been filled in by extensions or garages, disrupting symmetry and rhythm of the street intrinsic to the typology.
- Substantial changes to hipped roofs, bulky side extensions, redevelopment of garages or the addition of porches can erode overall character.
- Tall hipped roof heights allow for loft conversions, with dormer extensions concentrated at the rear of properties, to maintain consistent street facade.
- Variations in building design, style, materiality and configuration give a less defined street rhythm.
- Generally a consistent building line, set back from the street with well defined public - private space thresholds, using low walls, fences and hedges.



Key characteristics

- Key locations: West Acton, North Acton
- Typical storey height: 2 - 2.5
- Typical block depth: 85m - 95m
- Typical street width: 20m
- Typical dph density: 25 - 35 dph
- Typical FAR density: 0.4 - 0.6
- Typical parking: on and off-street
- Public open space: None
- Private amenity space: Back
- Typical green space ratio: 1.25:1

Clockwise from top left: aerial, figure ground, connectivity, open space



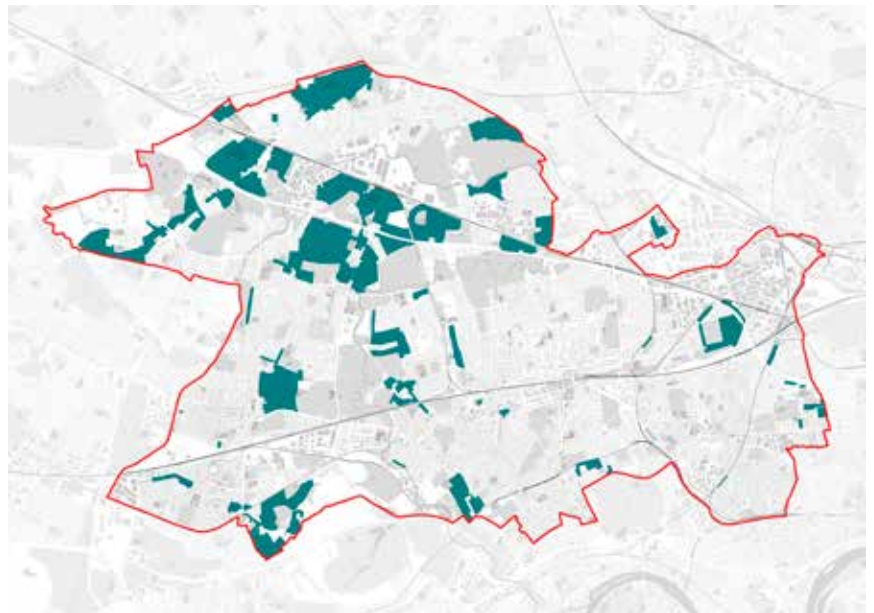
Inter-war semi-detached homes



Victorian semi-detached homes



Some homes have cottage estate quality



Distribution of suburban semi-detached in Ealing

Opportunities

- Large individual plots could be replaced with more dense typologies, though the wide proportions and space between buildings should be reflected in new development to encourage coherence.
- Reinforce spacious feel of the street with off-street parking, front lawns and boundary treatments between plots e.g. low walls, fences, hedges.
- Amalgamation of rear gardens can allow for infill development, including mews, annexes and detached single dwellings.
- Large, obtuse corner plots with building lines non-square to the street, side gardens or yards can be common to flexible-grid arrangements. These plots lend themselves to typologies that can turn the corner, maximising land available. Careful attention needed to massing and facade treatment to reflect repetition of elements and maintain street rhythm.
- Retrofit, extension or replacement of bungalows on deep plots can accommodate typologies with a higher residential density.



Case study

Side extension to a semi-detached suburban house in West Dulwich, that maintains the original front garden and provides parking space beside this. The extension steps down in scale from the original building and is connected by a floor to ceiling glass partition, giving the new structure its own integrity. The design is contemporary but takes its cues from surrounding buildings in terms of materiality and pitch of roof.

Continuous

Suburban terrace

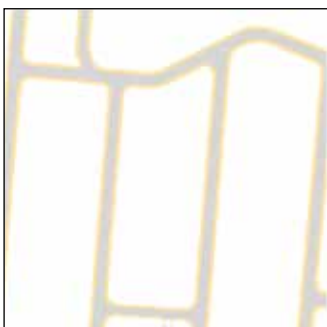
Suburban terrace blocks share many characteristics with urban terrace blocks. However, they typically date from a later period and are often arranged as blocks of four or eight homes rather than continuous terraces. They are common to areas including Hanwell and Perivale.

Profile

- A lower density form of continuous block, suburban terraces form groups of four to eight homes. This typology is common to areas including Hanwell and Perivale.
- Blocks can be arranged in regular linear grids bound by parallel streets; flexible grids taking a more relaxed form with curved roads; and planned layouts arranged by a pattern of streets and green spaces, including cul-de-sacs.
- Short terraces of homes are set back from the street with front and rear gardens, with access to end of terraces via consistent spacing between properties.
- Buildings are typically associated with inter-war public housing development, drawing on Garden City principles in form and architectural features.
- Hipped roofs are bookended by large dormers at either end of the terrace. Modest in proportion, these buildings typically feature quite modest detailing and a limited palette of materials.
- Boundary conditions between plots are usually low walls, fences or hedges, although front gardens and boundaries are frequently lost through conversion to off-street parking.

Performance

- Housing is typically low density single unit housing, mostly family homes with front and rear garden or yards.
- Depth of blocks varies but deeper examples and long, back to back gardens allows for annex development households, which increases population density.
- Limited detailing and materials palette mean alterations on an individual basis can degrade the overall group value of terraces e.g. varied style of PVC window framing, additions of porches.
- Whilst spacious in form and setting, floor to ceiling heights are modest, though roof heights can allow for loft conversion.
- Ad-hoc loft conversions are common, with rear dormer extensions visually prominent on end of terraces, particularly turning the corner of blocks.
- Paving of front gardens limits natural drainage and climate mitigation. Frequent driving over pavements has also led to many cracked surfaces.
- Terraced homes are generally more efficient in terms of energy uses, benefitting from a large number of internal walls between homes.



Key characteristics

- Key locations: Perivale, Hanwell
- Typical storey height: 2 - 2.5
- Typical block depth: 75m - 85m
- Typical street width: 25m
- Typical dph density: 30 dph
- Typical FAR density: 0.4 - 0.6
- Typical parking: off-street spaces
- Public open space: None
- Private amenity space: Back
- Typical green space ratio: 0.8:1

Clockwise from top left: aerial, figure ground, connectivity, open space



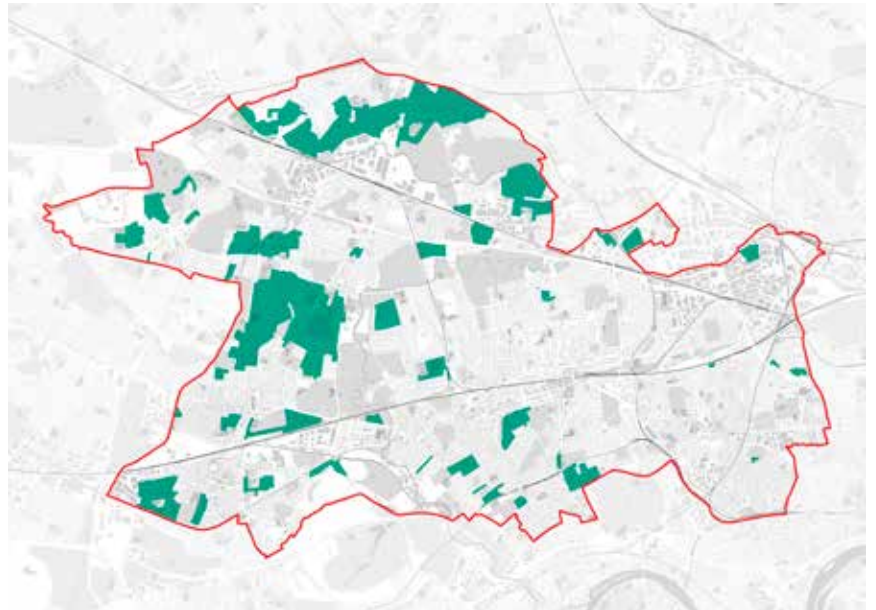
Boston Manor suburban terraces



Many have paved front gardens



Some suburban terraces have Cottage Estate characteristics



Distribution of suburban terraces in Ealing

Opportunities

- Deep plots and space between terraces provides opportunity for consolidation of rear gardens for infill development including mews or single unit, detached typologies.
- Perpendicular edges of blocks occupied by garages and parking lots create opportunity to complete the block by introducing residential buildings. Turning the corner with a continuous built form maximises available land.
- Form of large dormers at either end of terraces could be reinterpreted in modern typologies to maximise the building envelope
- Respect for the scale and massing of neighbouring properties should not preclude introducing more dense typologies such as mansion blocks, particularly at end of terraces where building heights could step up.
- Clear plot boundaries should be respected to retain rhythm of the street frontage, including hedges to soften the streetscape.

Continuous

Garden Suburb

These vary in scale from grand houses at Bedford Park to more modest examples at Brentham Garden Suburb and Hanger Hill Garden Estate. Generally short terraces, semi-detached and detached properties arranged in set pieces, and a strong leafy character, with hedges and mature street trees throughout.

Profile

- This typology is found in Brentham Garden Suburb, Pitshanger; Bedford Park in Turnham Green; and Hanger Hill Garden Estate stretching north from West Acton station. All are conservation areas.
- Bedford Park was the first Garden Suburb style development in London, completed in the 1880s and Brentham Garden Suburb was the first to be developed according to co-operative principles, constructed between 1901 and 1915.
- Each of these areas has mature, tree-lined streets, buildings set back from the street, and a leafy character, with privet hedges and front lawns intact.
- In Brentham, curvilinear blocks are loosely arranged by gently curving streets, creating local views down streets with prominent buildings terminating the view.
- Buildings are grouped in short, often symmetrical terraces, emphasising a collective composition. Building style is generally solid but plain, principally using brick and render with craft detailing.
- Generally 2 - 3 storeys although generous floor to ceiling heights and tall roof heights can give the impression of taller buildings.
- Varied and rich pitched roofscape including hipped, gabled, cross-gabled and cat-slide roofs are all common.

Performance

- This is a low density typology with short terrace runs, pairs and detached dwellings, set within generously proportioned blocks.
- The urban structure and considered form of existing buildings makes infill more challenging.
- Larger blocks are occasionally 'hollowed' with shared green space at their centre, framed by back gardens around the perimeter, which gives good access to shared amenity space.
- Deep individual plots create private amenity space with front gardens and large rear gardens running to the centre of the block.
- Front gardens and privet hedges are intact, giving clear definition of public and private space and an attractive streetscene.
- These areas have a cohesive and attractive character, in part due to CA restrictions. This cohesion and the founding principles of these neighbourhoods can give a strong sense of community.
- Being built before cavity walls, and having heritage restrictions on replacement windows, many will have poor insulation and high energy demands



Key characteristics

- Key locations: Brentham Garden Suburb
- Typical storey height: 2 - 3
- Typical block depth: 85m - 95m
- Typical street width: 18m - 25m
- Typical dph density: 30 - 35 dph
- Typical FAR density: 0.5 - 0.7
- Typical parking: off-street spaces
- Public open space: Small greens
- Private amenity space: Front and back
- Typical green space ratio: 1.3:1

Clockwise from top left: aerial, figure ground, connectivity, open space



Corner set piece at Brentham garden suburb



Preserving symmetry of elements is essential to maintaining townscape integrity



Boundary treatments are intact



Distribution of Garden Suburbs in Ealing

Opportunities

- Conservation Area status and Listed Buildings limit opportunities for intervention, but opportunities could exist on the fringes of the estates, at significant areas of surplus green space or in place of rear garages (such as at Hanger Hill), making use of existing access points.
- Any interventions would need to be designed incredibly sensitively, providing a contemporary reading of garden city design principles
- Higher density residential slabs can occur at edges e.g. Holyoake Court. Generally in keeping with the scale and massing of terraces, hipped roofs, front gardens, well defined thresholds, consistent building lines and brickwork.
- Modern interpretations should also follow these rules but make more efficient use of land by avoiding rear parking lots for dwellings. Existing parking lots, could provide opportunity for infill or be re-naturalised should demand for private parking fall.
- Modern interpretations of the typology should optimise the typical building envelope of up to 3 storeys, reinforcing the datum whilst increasing dwelling density through the creation of multiple dwellings.

Continuous

Cottage estate

Cottage Estates built in the early 20th century, largely by London County Council in the inter-war period as a response to the Addison Act, 1919. Common to parts of South Ealing and East Acton, the typology is low density and has suffered over time from alterations and extensions, degrading its character.

Profile

- Influenced by Garden City principles, the Cottage Estate typology was built in the early 20th century, including estates in South Ealing and East Acton.
- Blocks are irregular in their form, arranged around communal green spaces, that cause the block to step in as streets wrap around them.
- Framed open spaces and set pieces are common in plan, with small crescents, circuses, lawns and banjo cul-de-sacs regular layout features.
- Buildings are commonly grouped into short terraces or semi-detached properties with symmetrical shapes a characteristic motif.
- Generally plain in appearance with sparing articulation and simple detailing, natural materials and flat fronts. Pebble dash and render typical facade treatments.
- Building heights are 2 storeys with modest floor to ceiling heights and hipped, shallow roofs, reflecting large scale construction on a budget.
- Street trees and grass verges are common, forming a strong relationship with soft landscaping in combination with other set pieces of green space.

Performance

- Low density form of housing, though banjo cul-de-sacs can achieve higher densities by optimising available land with interlocking plots and reduced rear garden size. Permeability is the trade off.
- Blocks are large, though not as large as the Garden Suburb, allowing for private amenity space in front and rear gardens.
- Character has been degraded through increased car ownership, losing many front gardens; hedge and fence boundary treatments; and grass verges along streets to parking.
- Green spaces are regularly 'left over' space with little role or function, though in some cases crescents have been re-purposed as allotments.
- Alterations on individual dwellings (doorways, cladding, render, windows) has degraded the appearance of terraces and the cohesive identity of the estates as a whole.
- Rear and side extensions have altered the massing and proportions of properties, losing the symmetry of terraces and overall rhythm along the street.
- Cheaper building materials and lack of insulation gives these buildings high energy demands.



Key characteristics

- Key locations: South Ealing, East Acton
- Typical storey height: 2 - 2.5
- Typical block depth: 65m - 130m
- Typical street width: 20m - 25m
- Typical dph density: 35 - 40 dph
- Typical FAR density: 0.4 - 0.5
- Typical parking: on and off-street
- Public open space: None
- Private amenity space: Back
- Typical green space ratio: 1.5:1

Clockwise from top left: aerial, figure ground, connectivity, open space



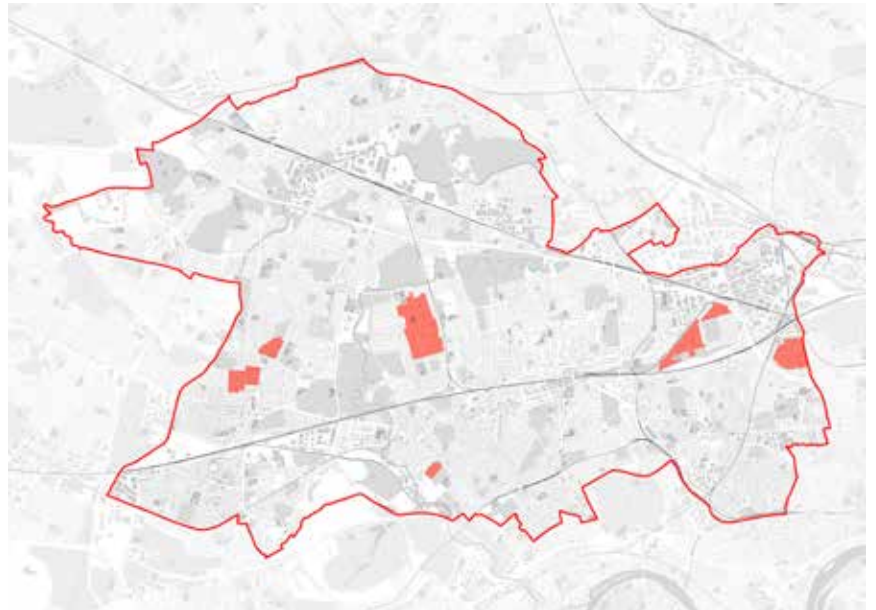
Cottage estate set piece framing a shared lawn, set back from the street



Cottage estates are often off set to the street



Short terraces with cross gable at each end are typical features of cottage estates



Distribution of Cottage Estates in Ealing

Opportunities

- Cottage Estate structures and layouts tend to generate areas of 'left over space' which could present opportunities for intensification. Should some areas be taken for small infill development, retained open spaces should be subject to investment so that these provide better amenity value through play equipment, seating and/or planting
- This approach is explored in the small sites section of the report
- Encouragement should be provided for residents to de-pave front gardens to enhance street character and improve drainage and climate mitigation
- In some areas with garage blocks or particularly deep blocks, it may be possible to accommodate mews development or small infill sites
- Clear design guidance on loft conversions and extensions would help ensure that residents can expand their homes whilst maintaining cottage estate character.

Continuous

Townhouse

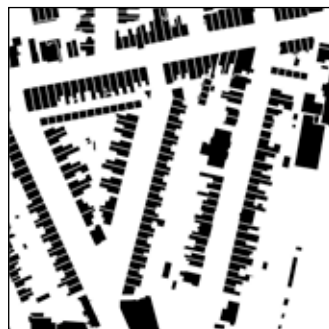
This typology is found in small clusters, typically around historic centres and routes including Ealing Town and Acton, albeit seldom found in complete blocks. Set over 3 storeys, examples include Victorian and Edwardian, 1960s SPAN housing estates and modern interpretations at Acton Gardens.

Profile

- The town house typology is found in small clusters, typically close to historic centres and routes such as Ealing Town and Acton on the Uxbridge Road.
- Town houses in Ealing are products of several periods, including Victorian and Edwardian; 1960s SPAN housing estates; and modern interpretations such as at Acton Gardens.
- Running in short terraces, town houses sit over 3 storeys and are vertically proportioned, with rooms stacked above one another over a narrow plot.
- Rarely found in complete blocks, more commonly seen in short terraces within continuous blocks or as part of a larger typological mix in modern estates.
- A strong uniform character and common identity, owing to the vertical articulation of windows and front doors (or horizontal in the case of 1960's town houses) and consistent street frontage.
- Defensible space is key with railings separating the home from street, occasionally also protecting light wells that can serve a basement - though this is less common in modern interpretations.
- Terraces create a continuous building line and flat roofs create consistent building height, adding to coherent and collective identity.

Performance

- Reasonably dense typology, particularly when arranged in a regular grid of linear blocks; though this is an uncommon condition to Ealing.
- Good sized single household dwellings, particularly good for family homes in an urban setting, with stacked arrangement providing multiple bedrooms over narrow plots.
- This efficient use of space for living accommodation is at the expense of loft storage space.
- Deep plots create private amenity space with rear gardens or yards for individual households.
- Dimensions of blocks vary but the narrow width of individual plots is generally countered by deep building plans with stepped massing to the rear.
- Boundary treatments to the street typically rely on hard landscaping conditions, using railings, steps to front doors or small paved front yards.
- Tall, narrow individual plots creates a high density of front doors and windows, creating repetition and a strong relationship with the street.
- The terraced rows are beneficial in terms of energy usage, thanks to the significant number of internal walls.



Clockwise from top left: aerial, figure ground, connectivity, open space

Key characteristics

- Key locations: Ealing, Acton
- Typical storey height: 3 - 3.5
- Typical block depth: 65m
- Typical street width: 15m
- Typical dph density: 35 - 85 dph*
- Typical FAR density: 0.6 - 0.7
- Typical parking: on-street
- Public open space: None
- Private amenity space: Back
- Typical green space ratio: 1.3:1

*Typical density ranges between lower density modern townhouses, arranged in free form estate layout; and higher density traditional townhouses, arranged in compact perimeter blocks.



A terrace of townhouses in Acton with proud Georgian detailing and strong group value



1960s town houses in Montpelier



Town houses as part of a mixed street



Distribution of townhouses in Ealing

Opportunities

- Consistent flat roof lines limit opportunity for vertical extension, though mansard roof could be achieved on historic town houses if running along an entire terrace to retain overall coherence. This has worked successfully in inner London neighbourhoods, such as Battersea.
- Rear extensions are a possibility, though stepped massing should be carefully considered at the corner of blocks to avoid building bulk being visually prominent from the side elevation.
- Modern interpretation is encouraged within comprehensive redevelopment schemes, occupying smaller sites at the fringe and ensuring a transition in scale between existing context and taller proposals.
- Verticality and street frontage is intrinsic to the typology, with stacked proportions, tall floor to ceiling heights and repetition of front doors and windows essential to reinterpretation.
- Basement excavation could provide opportunity for subdivision, creating two dwellings over four levels with shared access front door. However, this is an expensive and disruptive option.



Case study

Part of the Acton Gardens estate regeneration, 17 family-sized townhouses were arranged in two terraces that completed the frontage to a block. The typology provided a suitable choice for a small site at the fringe of the masterplan, ensuring a stepped transition between existing and new, with the repetition of front doors creating a strong relationship to the street.

Acton Gardens, Acton, London
Architect: Maccreanor Lavington

Continuous

Urban terrace

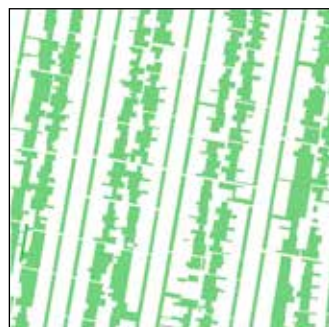
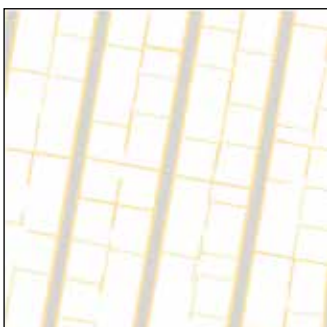
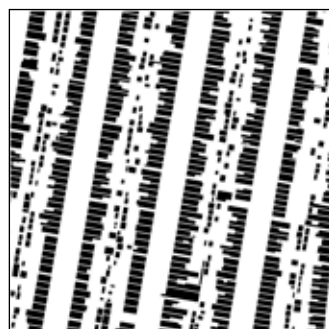
Tightly arranged grid of linear blocks, home to consistent terraces of compact houses with a strong relationship to the street. Victorian or Edwardian, these blocks are common to urban areas in the southern half of the Borough, such as Acton, Hanwell and Southall.

Profile

- Linear blocks arranged in a consistent grid, tessellating parallel and perpendicular to one another; optimising available land.
- Home to compact buildings in terraces, forming continuous buildings lines along each perimeter.
- Boundary treatments consist of low walls, hedge and gates.
- Common to Acton, Hanwell and Southall, generally found in large clusters.
- Rhythm of pitched roofs and chimney stacks create consistent street frontage and roofscape.
- Tight arrangement and shallow depth of blocks creates limited front amenity space, albeit with clear delineated of public and private space.
- Typically square frontage to the street, occasionally stepped, with articulated front facades, bay windows or feature windows.
- Some designed as Warner style maisonettes.
- Houses turn on perpendicular routes to create short terraces between regular junctions. Other times terraces terminate in a gable end and garden wall.

Performance

- Generally reasonable density considering low scale, afforded by tight arrangement of houses and compact block dimensions.
- Compact houses provide smaller individual homes in both building scale, proportions and number of rooms, though generous floor to ceiling heights and tall pitch roofs allow for loft conversions.
- Streets are typically narrow in profile and are dominated by on-street parking outside each home. However, shallow front gardens prevent these from being converted to parking, which is positive.
- Regular grid arrangement allows for a high degree of permeability and easy navigation.
- Narrow width of individual plots and consistent building line of terraces is generally countered by deep building plans with private rear gardens.
- Longer gardens allow for annex development and accommodation of larger households.
- Narrow widths creates high frequency of front doors, bay windows and boundary treatments, creating a strong relationship to the street.
- Terraced structure is efficient for energy use, though solid walls limit insulation levels.



Key characteristics

- Key locations: Acton, Hanwell, Southall
- Typical storey height: 2 - 2.5
- Typical block depth: 40m - 75m
- Typical street width: 20m
- Typical dph density: 65 - 75 dph
- Typical FAR density: 0.8 - 1
- Typical parking: on-street
- Public open space: None
- Private amenity space: Rear garden
- Typical green space ratio: 0.7 - 1 : 1

Clockwise from top left: aerial, figure ground, connectivity, open space



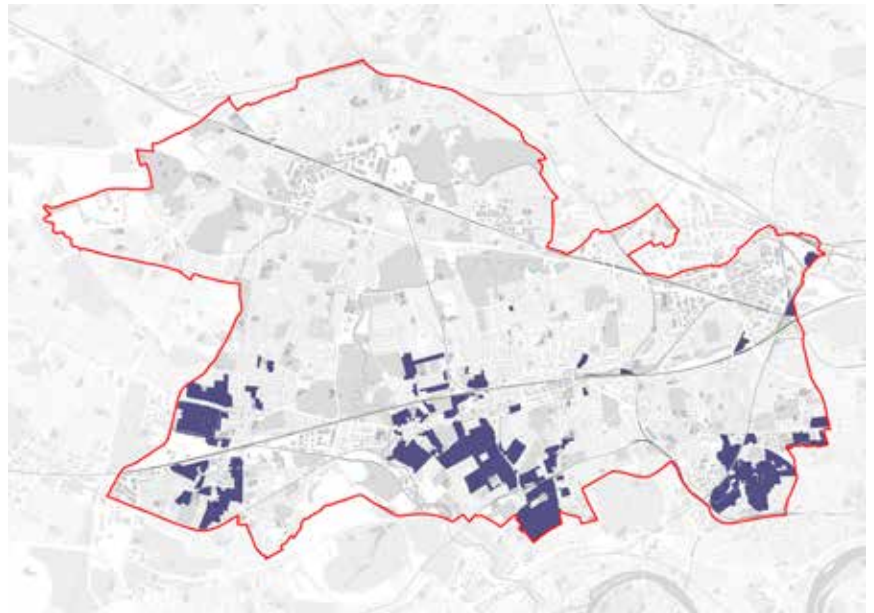
Stepped maisonette terraces with loft conversions



Flat fronted single home terraces



Acton terraces, incorporating both maisonettes and family homes



Distribution of urban terraces in Ealing

Opportunities

- Opportunity to maximise efficiency of existing building envelope by converting loft space. Dormer windows to be concentrated on rear elevation to retain integrity of front facade.
- Compact character allows for infill development, particularly at the end of short terraces as the block turns a 90 degree corner - creating opportunity to optimise available land.
- Generally deeper building plans allows for rear extension without disrupting strong relationship to the street, though overshadowing and overlooking of neighbouring properties should be avoided.
- Modern interpretation of this hard working type are encouraged and should reflect articulation and repetition of front elevation such as bay windows, front doors and chimney stacks.
- Brick materiality is common. Soft landscaping features in shallow front gardens or yards should be maximised, including privet hedges, with clear boundary treatments reinforced between plots.
- Mixed terraced streets can accommodate town houses or small apartment blocks infill, providing these respond to existing prevailing heights



Case study

Nine family-sized houses replaced a laundry site in Battersea, built over five levels without disturbing the three storey prevailing height. A contemporary take on the traditional terraced house, taking its cue in terms of scale, rhythm and materiality from surrounding terraced Victorian housing, while reinterpreting architectural features such as bay windows, with vertical feature bays to the front and rear.

Warriner Gardens, Battersea, London
Architect: Child Graddon Lewis (CGL)

Continuous

Courtyard block

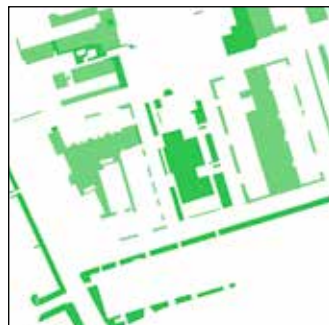
A typology that has only existed in the borough and London since the late 2000s. Popular due to its high density, it is common to large scale regeneration schemes and accessible locations. Rectilinear form can accommodate stacked dwellings, typically flats, as well as mixed uses at ground floor.

Profile

- This typology takes cues from the early 20th century mansion block, accommodating stacked flats and maisonettes arranged in rectilinear blocks.
- Typically deep in plan, mid-rise and delivering high density homes. Many of the borough's growing number of good quality new developments fall into this category.
- Can achieve high densities without requiring tall elements, though they can be accommodated well at corners addressing key street frontages.
- An arrangement of rectilinear blocks, the buildings themselves can be relatively simple in their scale and massing, though rely on high quality materials and detailing to be most successful.
- Modern buildings, they often have a framed construction, with a variety of cladding materials and a wide range of architectural expression, colours and textures.
- Positive frontage to streets and spaces is essential, with strong public - private space delineation.
- Communal internal podium facilities for parking and refuse can limit impact of high density living on streetscape.

Performance

- High density typology owing to the principle of stacking multiple dwellings on top of one another
- Arrangement around central courtyards and green spaces provides shared amenity space for residents. Private amenity space can be provided through balconies and terraces but is limited.
- Accommodating parking and refuse within a podium maintains a positive street relationship
- Depth of building plans can mean some dwellings within a block are single aspect with a lack of natural ventilation, passive heating or cooling.
- Living space and storage facilities can be limited, placing additional emphasis on the quality and size of communal facilities and spaces.
- Public realm investment can get 'value engineered' on projects, which significantly impacts on character and quality of life
- Usually provides good insulation and low energy costs due to wall insulation and significant number of internal walls.
- Typically stacked compact dwellings such as flats, reduces opportunities for individual adaptation or building adaptation over time.



Key characteristics

- Key locations: Southall, Greenford, Ealing
- Typical storey height: 6 - 8
- Typical block depth: 75m - 95m
- Typical street width: 15m - 25m
- Typical dph density: 140 - 240 dph
- Typical FAR density: 0.8 - 1
- Typical parking: basement, podium
- Public open space: Courtyard, roof terrace
- Private amenity space: Balcony
- Typical green space ratio: 0.2:1

Clockwise from top left: aerial, figure ground, connectivity, open space



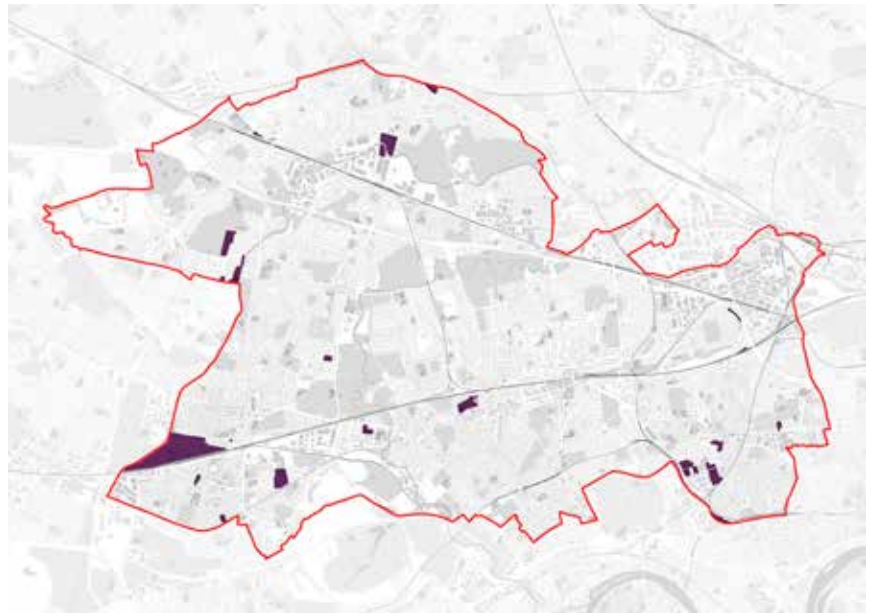
Southall Green Quarter where decent investment was made in landscaping and the public realm



Podium access to car and bike parking at St Bernard's Gate by Ealing Hospital



Recent redevelopment at Green Man estate in West Acton



Distribution of courtyard blocks in Ealing

Opportunities

- Mixed schemes can accommodate flats, maisonettes as well as townhouses for larger family dwellings and traditional street frontage.
- Taller elements can be situated at corners or 'shoulders' to introduce variety to the roofline and improve legibility of the urban environment.
- Significantly elevate residential populations and should be located in the most accessible locations, such as PTAL 3-6b or town centres.
- Scale and massing should carefully transition between existing context and new areas, using a typological mix to help achieve this. Materials and detailing should be rich to avoid monotony.
- Communal facilities and spaces must be of high quality for residents and where possible provide open green space that is publicly accessible.
- Larger schemes should maximise connections and open spaces to successfully stitch into local built fabric and enhance permeability.



Case study

A number of courtyard blocks introduce an ordered urban structure to a previous industrial site. Blocks of five to ten levels are arranged by fronted streets and open spaces. High quality materials and planting is used in the public realm. Some parking is street level, some is basement. The bulk of blocks is broken down by vertical proportions, as articulated by windows, doors and balconies.

Southall Green Quarter, Southall, London
Architect: Levitt Bernstein

Free form

Mansion block

Mansion blocks in Ealing vary in style and location but are principally defined by their simple form and rectilinear arrangement, set within grounds of an estate. Consistent massing, symmetrical facades and repetition of windows create a strong relationship to the street, despite being set back.

Profile

- This typology is predominantly a product of the Victorian and Edwardian periods, providing compact but high quality homes in grand buildings.
- Hanger Hill is home to 1920s blocks in faux-tudor and Moderne styles, whilst post-war editions are less common and less ornate in style.
- Blocks of stacked flats, mansion blocks are often set over four to six levels, though tall hipped roofs can give the impression of being less.
- Typically have one shared core with corridors or decks providing access to individual dwellings. Limited or single front doors are often grand.
- Falling within the non-perimeter classification, they are usually set within grounds of an estate set back from the street by gated under-used green space.
- Rectilinear blocks, their arrangement usually encloses rear yard space occupied by car parking or pram sheds for storage.
- Strong symmetry can be found along facades, with repetition of windows and chimney stacks and parapets. Municipal in their character, latticed brickwork, lettering and tiles are common features.

Performance

- High density, mid-rise blocks are able to accommodate stacked flats with shared core and deck access, maximising the building envelope for dwellings.
- However, these can be set within a low density free form urban structure of generous plots; creating a network of underused green spaces with little sign of ownership or use by residents.
- Consistent scale and simple massing creates a strong street frontage, though this is less prominent when set back considerably from the street.
- Early examples have high floor to ceiling heights, though mid-20th century editions are less due to the need of building high volume on a budget.
- Free form nature of estates has poor permeability with absence of formal pedestrian or vehicular streets preventing integration with local context.



Key characteristics

- Key locations: South Acton, Hanger Hill
- Typical storey height: 4 - 6
- Typical block depth: 30m - 50m
- Typical street width: 13m
- Typical dph density: 90 - 120 dph
- Typical FAR density: 0.7 - 0.9
- Typical parking: off-street, communal court
- Public open space: Tree planted lawns
- Private amenity space: None
- Typical green space ratio: 1.5:1

Clockwise from top left: aerial, figure ground, connectivity, open space



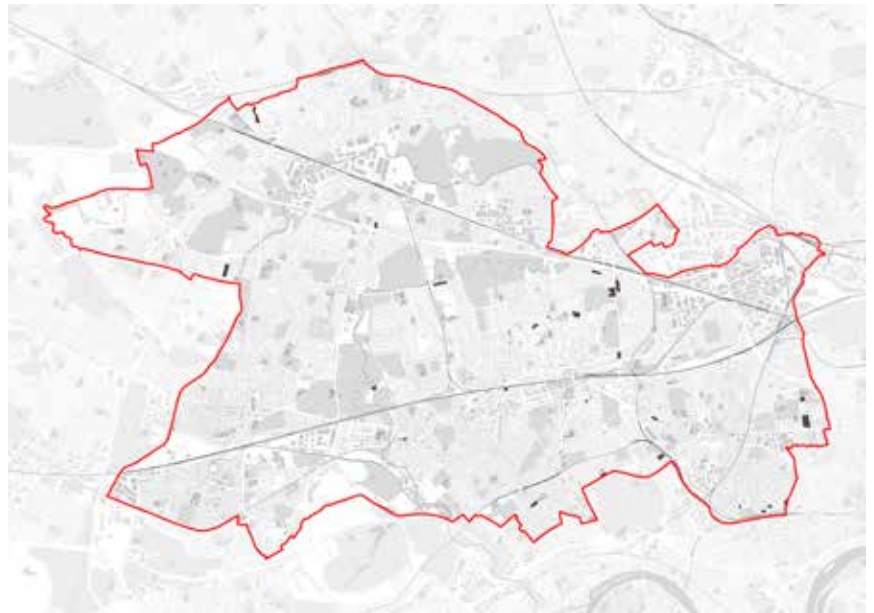
A series of mansion blocks on an urban street



A mansion block set back from the street, with open space and parking



Single central doors provide access to many flats within



Distribution of mansion blocks in Ealing

Opportunities

- Tall hipped roofs could see loft conversions if not already habitable space, whilst flat roofs could see vertical extension set back from the building line or sloping mansard roofs with dormers.
- Modern interpretation of the typology should optimise symmetry and repetition of elements including windows and brickwork detailing. If set within an efficient urban structure, this type can balance density and living quality well.
- Modern forms should fall within a continuous block network, rather than free form, to create more permeable places better integrated with its environs.
- Modern interpretations could work well along spine intensification routes and boulevards. Concentrating communal entrances on the street, with well defined public - private space will help foster resident ownership.
- Large areas of surface car parking enclosed by mansion blocks could be redeveloped as infill should demand for private parking fall over time



Case study

A new quarter of mansion terraces framing private communal gardens and pedestrian connections. The scheme includes 229 new dwellings, replacing two 1970s towers and re-establishing Kilburn Park Road as a grand tree-lined avenue. Two storey high bays mark communal entrances, with upper floors sloping back to form a mansard roof, punctuated with inset and projecting dormers.

Kilburn Quarter, Kilburn, London
Architect: Alison Brooks Architects

Free form

Urban cul-de-sac

A block typology delivered predominantly in early post-war and late 20th century development. Free form cul-de-sac blocks with houses, townhouses and short stacks of flats or maisonettes. Large volumes of surface car parking characterise this typology, with streets lacking permeability and legibility.

Profile

- Generally a product of post-war and late 20th century, forming low density, enclosed urban extensions on the edge of existing settlements.
- Arranged in a free form, amorphous structure of blocks with streets that terminate in dead-end communal parking courts or private driveways.
- Buildings tend to include short blocks of flats, terraced maisonettes or detached houses in an a rhythmic arrangement non-square to the street.
- Plot configurations vary greatly with irregular grouping. A common feature is that houses in this form rarely feature deep gardens.
- Buildings are usually two storeys with relatively low floor-ceiling heights and shallow gabled/ flat roofs.
- Soft landscaping is poor quality and 'left over' with no rational use or sense of ownership from residents.
- Absence of through routes creates a quiet, dormitory atmosphere most animated by movements to and from places of work.
- External materials and details are likely to be from a simple and limited palette. Large estates can be monotonous and draw little from the local context

Performance

- An inefficient type in terms of spatial layout - low density free form structure with irregular plot sizes and mix of typologies, with little coherence across different and within individual blocks.
- The irregular layout and absence of a conventional block structure offers little opportunity to adapt buildings or block patterns; it is largely inefficient and unsustainable form of development.
- Public realm is poorly defined, with boundary treatments absent or poor quality and lack of definition between public and private space.
- Poor connectivity, lack of frontage and little variation in the built form contributes to an illegible environment. Pedestrian routes are poorly defined.
- Inefficient layout and dominance of surface car parking results in much excess green space with little obvious function or use by residents.
- In post-war examples, the design intent to separate pedestrians from vehicles creates an illegible network of pedestrian-only routes fronted by front doors; resulting in buildings presenting their backs to the street and parking courts.



Key characteristics

- Key locations: Northolt, Hanwell
- Typical storey height: 2 - 3
- Typical block depth: 80m - 180m
- Typical street width: 18m - 22m
- Typical dph density: 50 - 60 dph
- Typical FAR density: 0.4 - 0.5
- Typical parking: off-street, communal court
- Public open space: Small green spaces
- Private amenity space: Rear garden
- Typical green space ratio: 0.4:1

Clockwise from top left: aerial, figure ground, connectivity, open space



Parking courts and inactive frontages characterise the streetscape



Buildings often front pedestrian routes rather than streets, creating a lack of surveillance



Buildings often don't relate to surrounding streets or landscape



Distribution of urban cul-de-sacs in Ealing

Opportunities

- Irregular layout, absence of regular block structure and through routes means these blocks are difficult to adapt and largely stymie intervention.
- Communal parking courts could see infill development should demand for parking fall over time. Open spaces and public realm should see investment to create a higher quality public realm.
- Most opportunities relate to connectivity by unlocking pedestrian and vehicular connections where possible, including redevelopment of adjacent sites.
- Should comprehensive redevelopment opportunities arise, demolition of properties would be needed to forge new connections and establish a more formal street layout and movement hierarchy and more efficient use of space.
- New development should be appropriate to the site's context with scale and massing that responds to neighbouring properties, gently stepping up if fronting key routes or spaces.

Free form

Linear slabs

Mainly associated with inter-war and post-war buildings typically found in estates through the borough. A arrangement of linear slabs, usually between four to six levels of stacked flats or maisonettes. Blocks are poorly defined with few streets, set within a landscape of under-used green space and parking.

Profile

- Strongly associated with inter-war and post-war estate development, providing a large volume of housing needed in slum and bomb site clearance.
- Free form blocks can be poorly defined with few through-routes and often terminate in dead-end communal parking courts.
- Buildings are sometimes arranged in an irregular layout, off-set at angles to nearby streets or open spaces, with entrances poorly delineated.
- Large areas of open green space are characteristic, with the layout failing to establish a clear urban structure of routes and spaces.
- Buildings are rectilinear slab blocks of stacked flats or maisonettes arranged over two to six levels, either with corridors or deck access stemming from one or more shared cores.
- Found in Northolt (Academy Gardens) and Greenford (Dormers Wells) as post-war estates on a large scale, forming a mix of slabs and towers.
- Materiality, detail and style varies, with London stock brick, render and panelling. Post-war examples tend to have weathered poorly with both external and internal issues

Performance

- Slab buildings themselves can achieve mid-density through a mid-rise scale, but arranged through a free form layout they become low density with inefficient use of land.
- Large swathes of open space create a prominent landscape setting, though this can be unusable with the exception of some limited recreation.
- An absence of through routes and poorly defined pedestrian-only routes means estate environments can be highly illegible.
- Lack of active frontage, front doors and poorly defined entrances creates limited surveillance and the perception of feeling unsafe.
- Communal cores, corridors and decks give access to a large number of dwellings, creating an ambiguous area of semi-public space.
- Occasionally ground floor units have front doors with some limited defensible boundary treatments between public and private space.
- Post-war examples are often dual aspect, which enables passive lighting, heating and cooling. However, poor quality materials and construction methods leave these homes energy inefficient.



Key characteristics

- Key locations: Northolt, Greenford
- Typical storey height: 4 - 6
- Typical block depth: 60m - 80m
- Typical street width: 20m - 25m
- Typical dph density: 80 - 130 dph
- Typical FAR density: 0.7 - 0.8
- Typical parking: on-street, communal court
- Public open space: Large lawns
- Private amenity space: None
- Typical green space ratio: 2.5:1

Clockwise from top left: aerial, figure ground, connectivity, open space



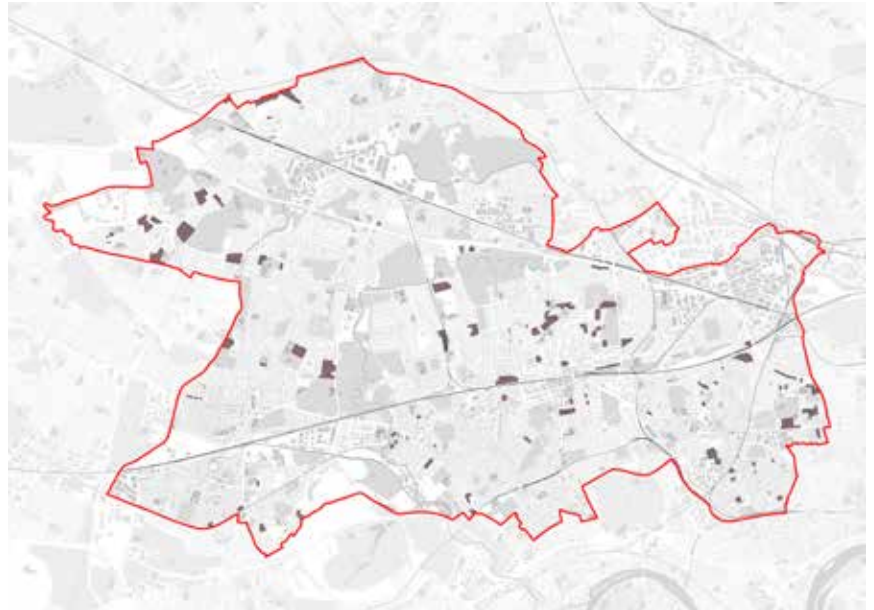
Street-facing two storey 1930s block with generous windows with clear boundary



Four storey block with contained balconies



Three storey block in Boston Manor fronting the street but with a significant step back



Distribution of linear slabs in Ealing

Opportunities

- Opportunities range from comprehensive estate regeneration schemes, making better use of land through higher density buildings; to smaller public realm interventions, formalising routes and unlocking connections.
- Insulating homes and using roofspace for solar panels can help reduce domestic energy bills and improve health and well-being of residents.
- Infill opportunities can exist in small sites including 'left over' green space, garages and pram sheds.
- Enhancing the quality of the landscape to create a sequence of connected green spaces, including small and pocket parks.
- Introduce a more formal urban structure through the creation of streets, routes, spaces and enhanced frontage of existing or new buildings.
- Make connections with the surrounding context, overcoming physical barriers as well as continuity in the built fabric through development.

Free form

Tower

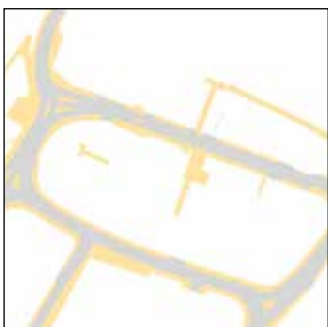
An increasingly common typology in the borough, towers had previously only been developed through the post-war period of large residential estates. Towers can be very high density owing to their height but require careful planning and design to be most successful in townscape and placemaking terms.

Profile

- Ealing's towers have been delivered through two periods: post-war public housing schemes and recent developments since the late 2000s.
- Towers are tall buildings of stacked flats, generally on small footprints, that yield high densities and sit prominently on the roofline.
- Towers can form a typological mix alongside slabs and houses in free form post-war estates, found in urban and suburban settings; such as at Acton Gardens or Gurnell Grove.
- In recent times, towers are increasingly an urban condition, found in town centres, near train stations or regeneration areas, such as North Acton.
- As with other free form blocks, the built form of towers bears little relation to the layout of estates; with a lack of defined routes, streets and spaces.
- Post-war examples tend to have a simple palette with little detailing, whilst recent examples can appear more verbose often in response to policy requiring 'landmarks' and 'exceptional design'.
- Usually include hard or soft landscape at their base, intended as amenity use for residents, though quality and use of the space is typically poor.

Performance

- Achieves high densities as built on small footprints but can have issues 'meeting the ground' with poor quality pedestrian environment at ground level.
- Towers can be visually prominent from long distances and need to be carefully located, planned and designed.
- Due to their scale, towers can have negative impacts on micro-climates, affecting wind speed and direction, sunlight, shade and warmth.
- Can struggle to engage positively with public spaces, especially in free form blocks, owing to lack of frontage, absence of public-private space boundaries and lack of ownership by residents.
- Stacked flats create compact dwellings that often present storage and adaptation issues, as well as limited private amenity space, such as balconies.
- High density typologies like towers are more successful when providing high quality shared facilities and services for residents.
- High residential densities can place strain on existing infrastructure networks through increased footfall and use, including public transport, education, open space, parking.



Key characteristics

- Key locations: North Acton
- Typical storey height: 10 - 20
- Typical block depth: 55m - 65m
- Typical street width: 15m - 20m
- Typical dph density: 250 - 350 dph
- Typical FAR density: 3.5 - 3.8
- Typical parking: Basement, off-street court
- Public open space: Lawn, piazza
- Private amenity space: Balcony
- Typical green space ratio: 0.2:1

Clockwise from top left: aerial, figure ground, connectivity, open space



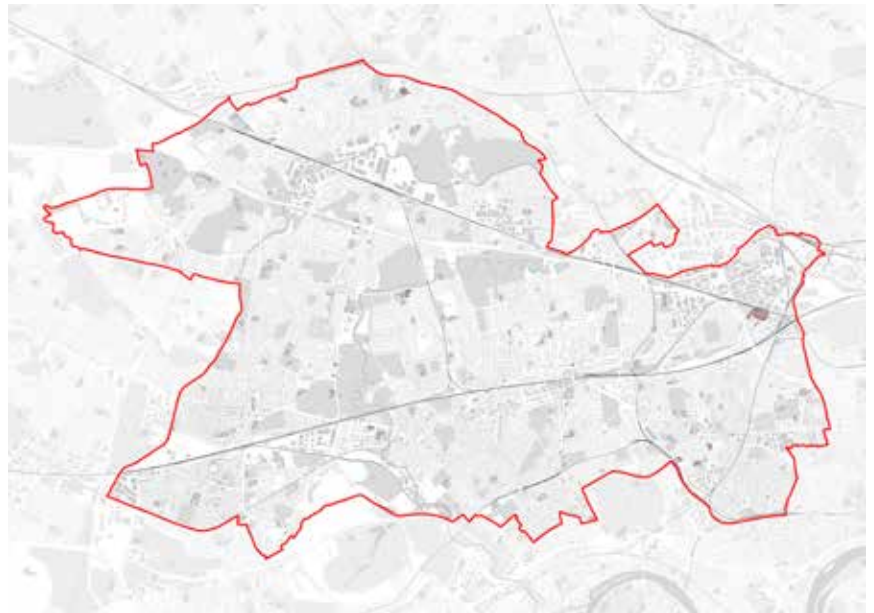
Recent towers developed at North Acton



South Acton Estate towers, being replaced by Acton Gardens perimeter blocks and townhouses



Recent development at Greenford Quays, which is a broad tower



Distribution of towers in Ealing

Opportunities

- Significantly elevate residential populations and should be located in the most accessible locations, such as PTAL 3-6b or town centres.
- Holistic planning needed to deliver infrastructure improvements required through increased population density and strain placed on existing assets.
- More successful towers form part of perimeter blocks within an ordered urban structure, providing good frontage and variation in massing - using podiums to create 'shoulders'.
- Towers can be used as tall buildings to help wayfinding and legibility in urban environments, particularly in regeneration areas, strategic sites and town centres. A masterplan-led approach can help achieve this.
- The principle of height should not be a precursor for the location of other tall buildings, careful consideration of clusters, the sensitivity of context and setting needs to be considered.
- Small footprint buildings should not result in dead ground floor in order to accommodate parking - this should be lined with frontages.



Case study

A BT Telephone Exchange previously occupied the site in the Vauxhall, Nine Elms and Battersea Opportunity Area. A typological mix of simple buildings, including a 35 level tower, are arranged to create a permeable network of spaces. Brickwork is used throughout to create a distinct character, with the tower's massing stepping down in response to Vauxhall Park.

Keybridge, Vauxhall, London
Architect: Allies and Morrison

development blocks

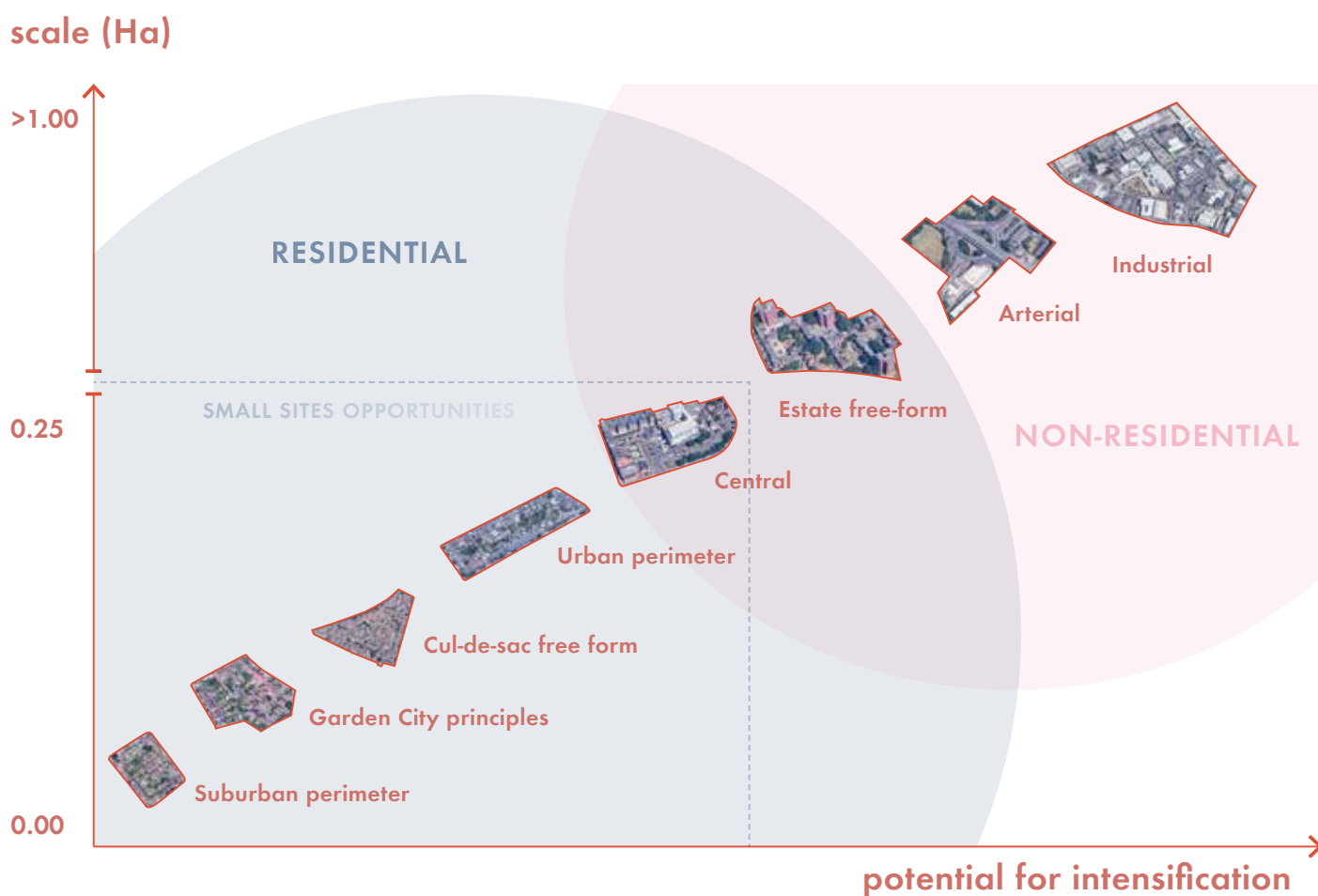
Development blocks

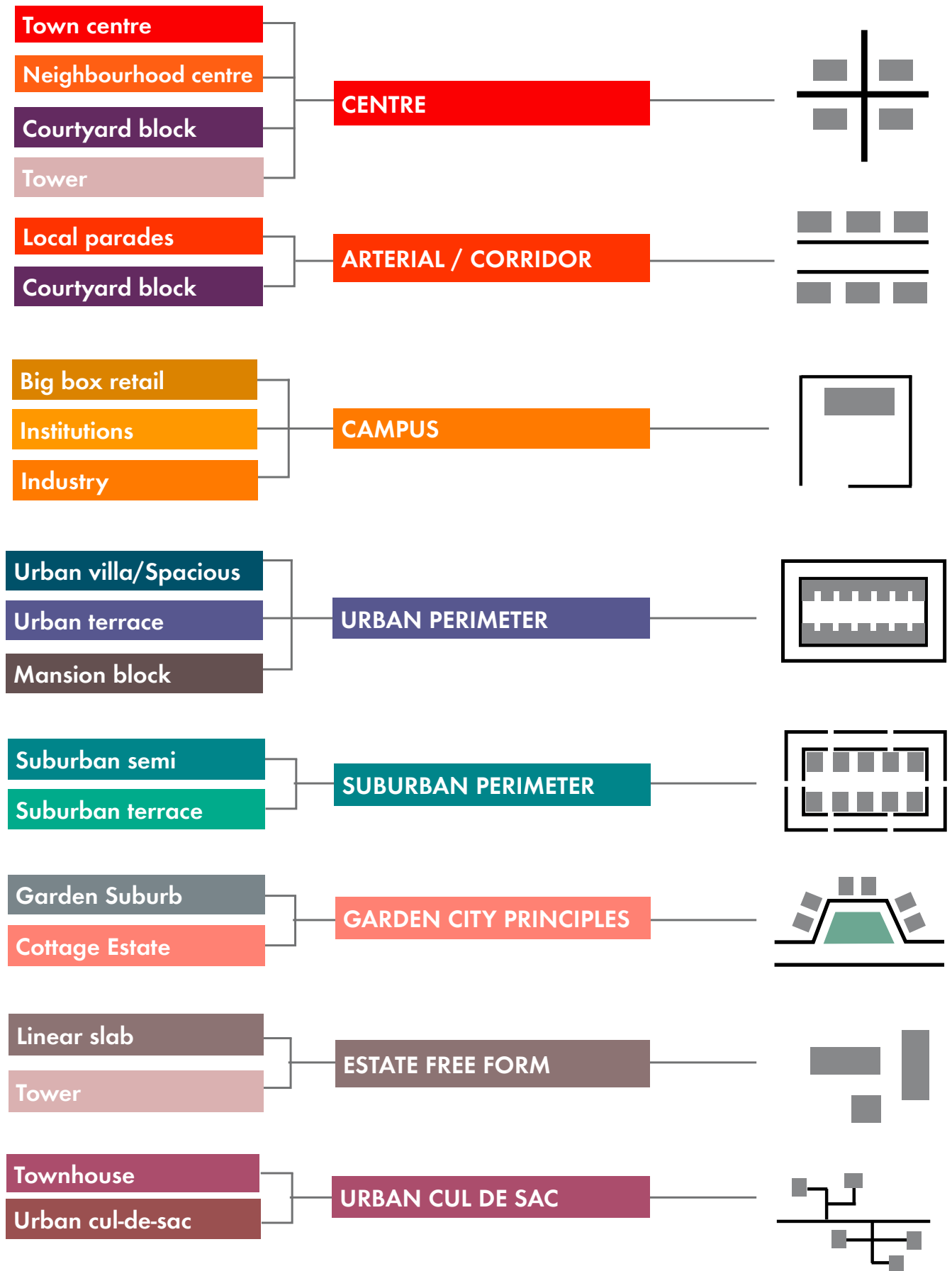
Assessment of housing typologies identifies opportunities for improving their performance, expanding them at an individual scale and reinterpreting the type for new housing within the borough. However, in order to understand how small and larger sites can come forward and provide a more significant number of new homes in a manner that responds to local character, it is important to review issues and opportunities at the townscape and block level rather than individual units. This will give a clearer indication of what might possible and how new homes can be successfully integrated within the existing context.

A number of development block types have been identified for this purpose. The diagram below sets out these block types and the housing typologies that are most commonly (but not exclusively) found within the blocks. The typical spatial characteristics of the block type are also identified.

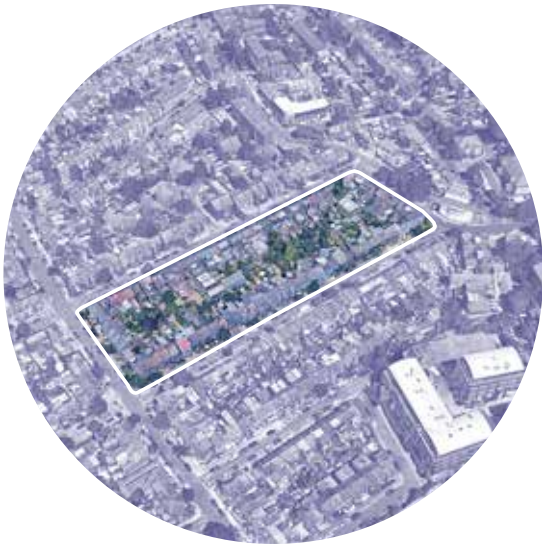
Below, the typical scale of sites that are found within the block types are highlighted, indicating the likely scale of intervention and balance between residential and non-residential uses that can be accommodated within the typical blocks.

Over the following pages, each block type is reviewed in terms of existing profile, key considerations and potential development opportunities.





URBAN PERIMETER



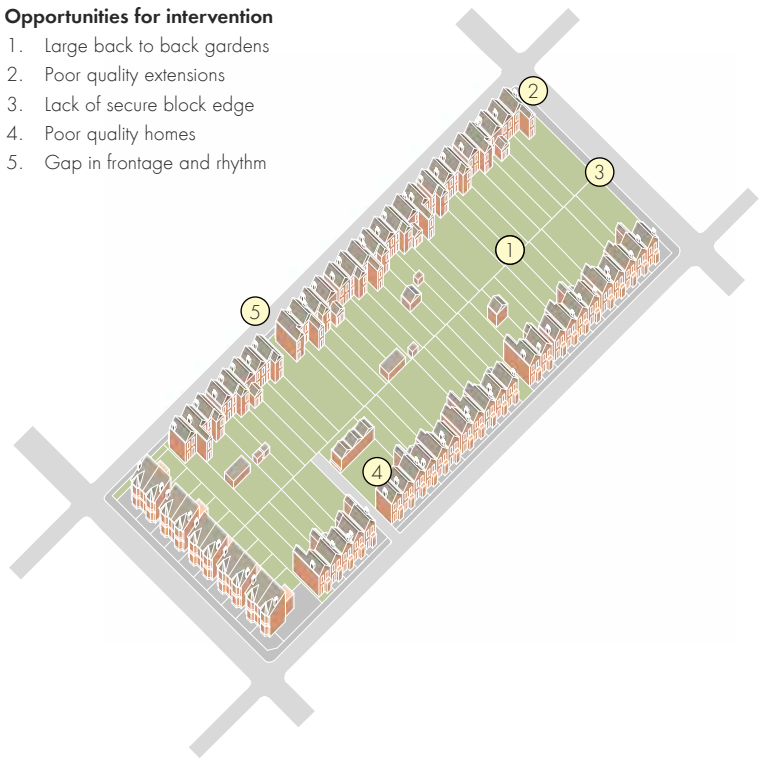
Urban villa/Spacious

Urban terrace

Mansion block

Opportunities for intervention

1. Large back to back gardens
2. Poor quality extensions
3. Lack of secure block edge
4. Poor quality homes
5. Gap in frontage and rhythm



Profile

Existing building types

- Villas / spacious, urban terrace, mews, mansion block

Forms of intensification

- Infill, corner/end of terrace, garages, backlands, loft/rear extensions, amalgamation of plots

Scale of intensification

- Minor/moderate

Considerations

- Urban setting, uniform character, low-rise, small-scale, fractured land ownership, regular parcel geometry

Objectives of intensification

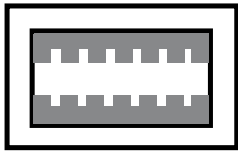
- Maintain continuous active frontage along perimeter and clear delineation of public/private space

Locations

- Hanwell, Ealing, Acton

Key considerations

- Block depth - e.g <40m excludes garden development, >100m allows for mews
- Garden centre line - if this is off centre, it reduces complexity of providing new homes
- Block aspect - an east-west block could result in single aspect north facing units
- Geometry - unusual step ins or curves can limit opportunities
- Mix of uses - former garage sites can present more significant opportunities
- Existence of hard standing access routes would facilitate internal mews or rear garden dwellings
- Suitable for intensification through town houses, though should consider existing form and facades - where this is articulated through bay windows or detailing, new development should respond.



Corner infill

Complete frontage, secure edges of the block, respect neighbouring scale, massing, roofline, building line

Rear extensions

Maximise deep building plots, respect low scale setting, avoid overlooking and shadow

Side garden infill

Complete frontage, secure edges of the block, respect low scale setting, avoid overlooking and shadow

Infill development

Complete frontage, secure edges of the block, respect neighbouring scale, massing, roofline, building line

Loft conversion

Maximise building envelope for more habitable space, respect rhythm of roofline

Mews infill

Establish access from edge of block, respect low scale setting, avoid overlooking and shadow, variegated roofline to avoid 'wall of development'

Retrofit of building

Maximise building envelope for more habitable space, respect repetition of facade elements

Back garden infill

Introduce mews dwellings where depth of internal block allows (>40m) and existing access route can facilitate

SUBURBAN PERIMETER



Suburban semi

Suburban terrace

Opportunities for intervention

1. Vacant corner sites
2. Deep plots with large gardens
3. Wide plots on long curved corners
4. Large building envelopes and profile



Profile

Existing building types

- Suburban semi-detached, suburban terrace

Forms of intensification

- Infill, corner/end of terrace, garages, backlands, loft/rear extensions, amalgamation of plots

Scale of intensification

- Minor/moderate

Considerations

- Suburban setting, uniform character, low-rise, small-scale, fractured land ownership, irregular parcel geometry

Objectives of intensification

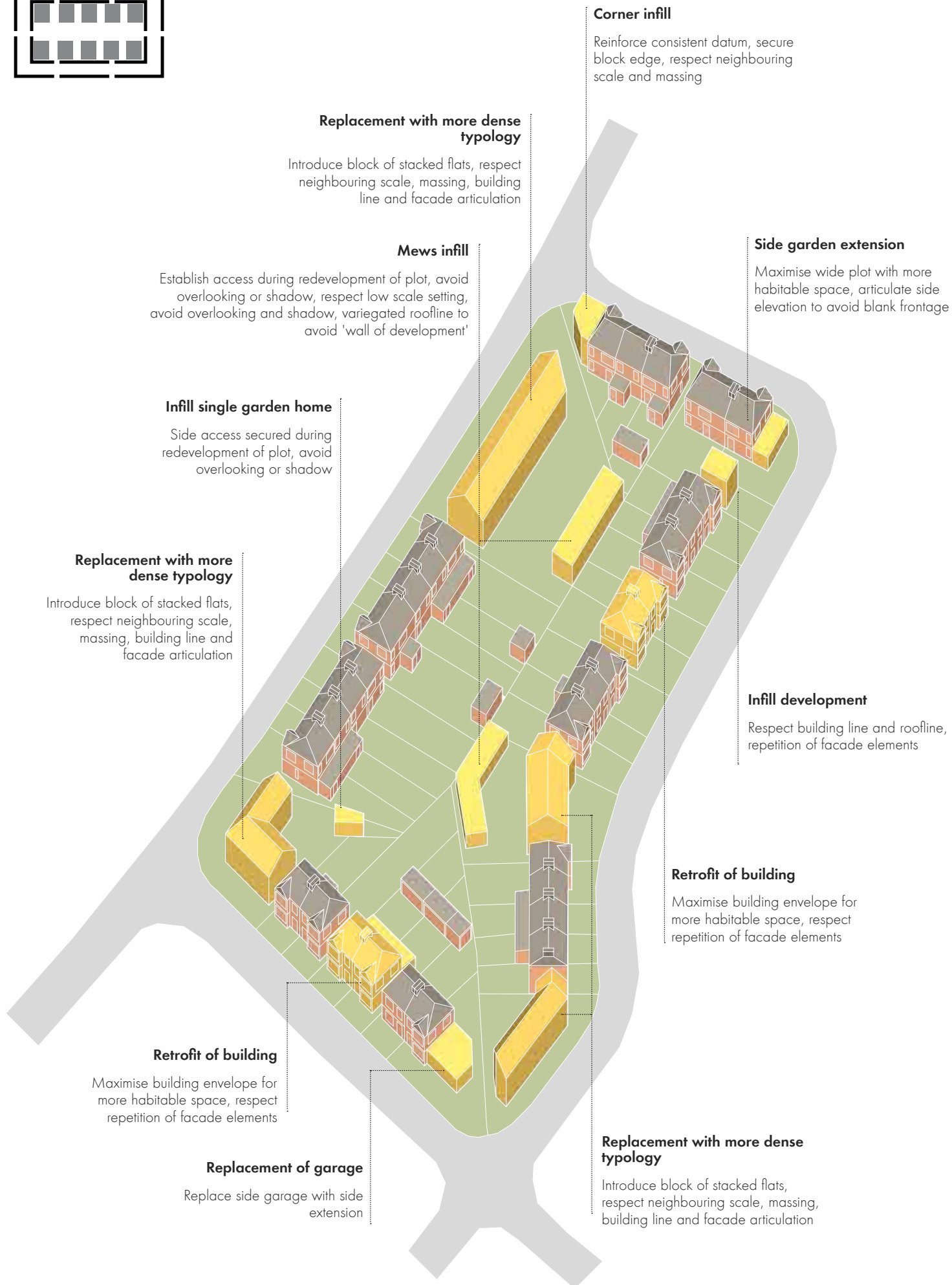
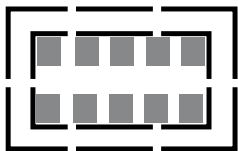
- Maintain continuous active frontages along perimeter and clear delineation of public/private space

Locations

- Southall, Greenford, Northolt

Key considerations

- Block depth - e.g. <40m excludes garden development, >100m allows for mews
- Garden centre line - if this is off centre, it reduces complexity of providing new homes
- Block aspect - an east-west block could result in single aspect north facing units
- Geometry - unusual step ins or curves can limit opportunities
- Mix of uses - former garage sites can present more significant opportunities
- Existence of hard standing access routes would facilitate internal mews or rear garden dwellings



GARDEN CITY PRINCIPLES



Garden Suburb

Cottage Estate

Opportunities for intervention

1. Infill sites on set pieces / unused open space - investment in remaining space required
2. Repair inconsistent building line from periods of different development
3. Internal set piece greens and lawns can be infilled
4. Grand building envelopes can be retrofitted and subdivided



Profile

Existing building types

- Semis, villas, cottages, suburban terrace

Forms of intensification

- Garden estate, garden suburb, Cottage estate

Scale of intensification

- Minor/moderate

Considerations

- Suburban setting, varied character, low-rise, small-scale, fractured land ownership, irregular parcel geometry

Objectives of intensification

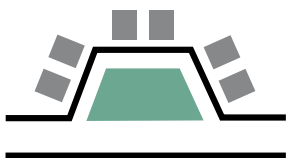
- Reinforce the garden city character

Locations

- Southall, Greenford, Northolt, Brentham
Garden Suburb, East Acton

Key considerations

- Geometry - unusual step ins or curves can limit opportunities
- Regularity of spaces - one approach could be repeated across an area
- Mindful of amount of remaining open space - could see investment to create pocket park
- Block depth - e.g. <40m excludes garden development
- Mix of uses - former garage sites can present more significant opportunities
- More dense typologies can replace large envelope, individual dwellings; whilst respecting consistent scale and massing



Replacement with more dense typology and arrangement

Set back from street in set piece style, respect neighbouring scale and massing, introduced stacked flats or single run of maisonettes

Corner infill

Maximise use of underused green space, respect building line, depth, roofline and facade articulation

Corner infill

Maximise use of underused green space, respect building line, depth, roofline and facade articulation

Retrofit of buildings

Maximise building envelope for more habitable space, larger buildings could be subdivided, respect repetition of facade elements

Replacement with more dense typology

Repair consistent building line, neighbouring scale and massing, introduced stacked flats or single run of maisonettes

Corner infill

Maximise use of underused green space, respect building line, depth, roofline and facade articulation

Creation of set piece

Reinforce local character and pattern of use, creating communal residential lawn

Green space investment

Invest in retained green space, with planting, seating and play facilities

CENTRE



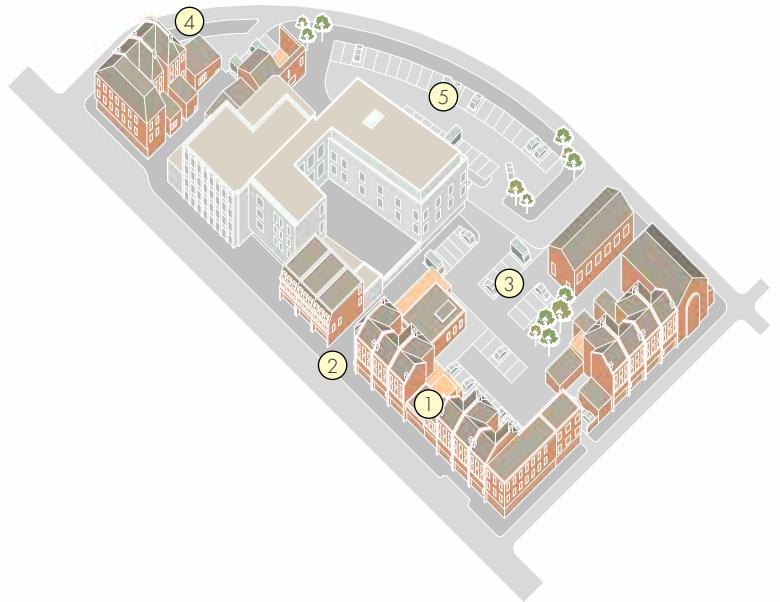
Town centre

Neighbourhood centre

Local parades

Opportunities for intervention

1. Complete street frontage and reinforce a consistent datum
2. Gap in frontage could improve pedestrian permeability
3. Lack of soft landscape and open green space
4. Poorly maintained building and unattractive side elevation
5. Vacant car park sites - increasingly incompatible with centres



Profile

Existing building types

- GF commercial units, offices, residential / storage above, townhouses

Forms of intensification

- Change of use class, infill, surface parking, garages, roof extensions

Scale of intensification

- Moderate/major

Considerations

- Urban setting, varied character, medium-rise, medium-scale, fractured land ownership, regular parcel geometry, mixed use

Objectives of intensification

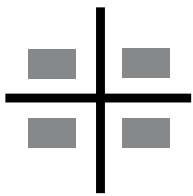
- Rebalance mix of land uses towards residential /community/works space from retail

Locations

- Southall, Ealing, West Ealing, Acton, Greenford, Hanwell

Key considerations

- Seek to repair finer grain and permeability of historic centres; often lost to 20th century development
- Mixed uses should be prioritised, with ground floor commercial units and residential above
- Creating consistent datum along frontages - vertical extensions set back can go higher and preserve street profile
- Public realm enhancements can improve existing or introduce new pedestrian routes and spaces
- Irregular blocks often either side of a high road but should seek to complete frontage along block perimeter
- Suitable and sensitive for high density, tall schemes - introducing podium development can achieve taller extruded massing whilst positively meeting the ground
- Where a number of tall buildings may come forward, these should consider one another. The relationship between the buildings will have a significant impact on the townscape.



Introduce high density typology

Maximise vacant site by introducing mixed uses, respond to constraints through positioning and massing, podium development allows taller elements to positively address the ground level, clearly delineate public - private space at rear

Corner infill

Tidy up 'leaky' corner and secure block edge, maximise plot depth, stepped massing creating terraced amenity space

Car park infill

Replace incompatible use, establish frontage along internal pedestrian route

Pocket park

Introduce soft landscape and green infrastructure, making good connections with public realm

Vertical extension

Set back extension to preserve street profile

Public realm enhancement

Improve pedestrian permeability and connection to new pocket park, high quality paving and tree lined for positive pedestrian environment

Vertical extension

Establish consistent datum through vertical extension, respect neighbouring roofline, building line and facade articulation to create coherent sense of place

Vertical extension

Respond to adjacent building height, vertically proportion massing to reinforce relationship to building below

ARTERIAL / CORRIDOR



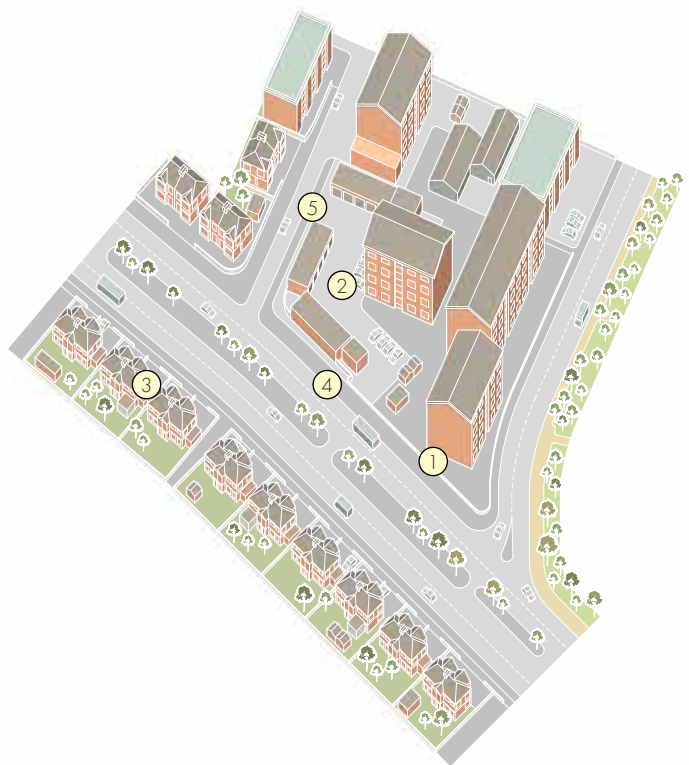
Local parades

Waterside

Vehicular corridors

Opportunities

1. Poor quality edge condition and lack of frontage
2. Excess surface car parking, inefficient use of land
3. Low density detached villa property
4. Poor quality pedestrian environment, dominated by vehicles
5. Lack of distinctive character, illegible urban form



Profile

Existing building types

- Suburban terrace, suburban semi-detached, petrol station, big box retail unit, mansion block

Forms of intensification

- Infill, corner/end of terrace, garages, backlands, extensions, amalgamation of plots

Scale of intensification

- Moderate/major

Considerations

- Urban and suburban settings, varied character, low-medium rise, medium-scale, fractured land ownership, regular parcel geometry, mixed use

Objectives of intensification

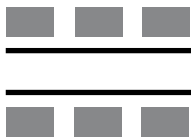
- Rebalance/diversify mix of uses, activate underutilised land, humanise non-residential environments

Locations

- Northolt, Greenford, Perivale, Hanger Lane, North Acton

Key considerations

- Draw in building line through new development - better framing route
- New development to align with prevailing block structure - creating permeable and coherent sense of place
- Pedestrian and vehicular access to / from busy arterial route must be considered early in design process
- Creating strong frontage and articulation onto route will help change character
- Suitable for high density development - can contribute to reimagining of character
- Development must take account of excessive noise levels and poor air quality - mechanical ventilation and non-opening windows should not result in poor quality habitable environment or poor facade articulation

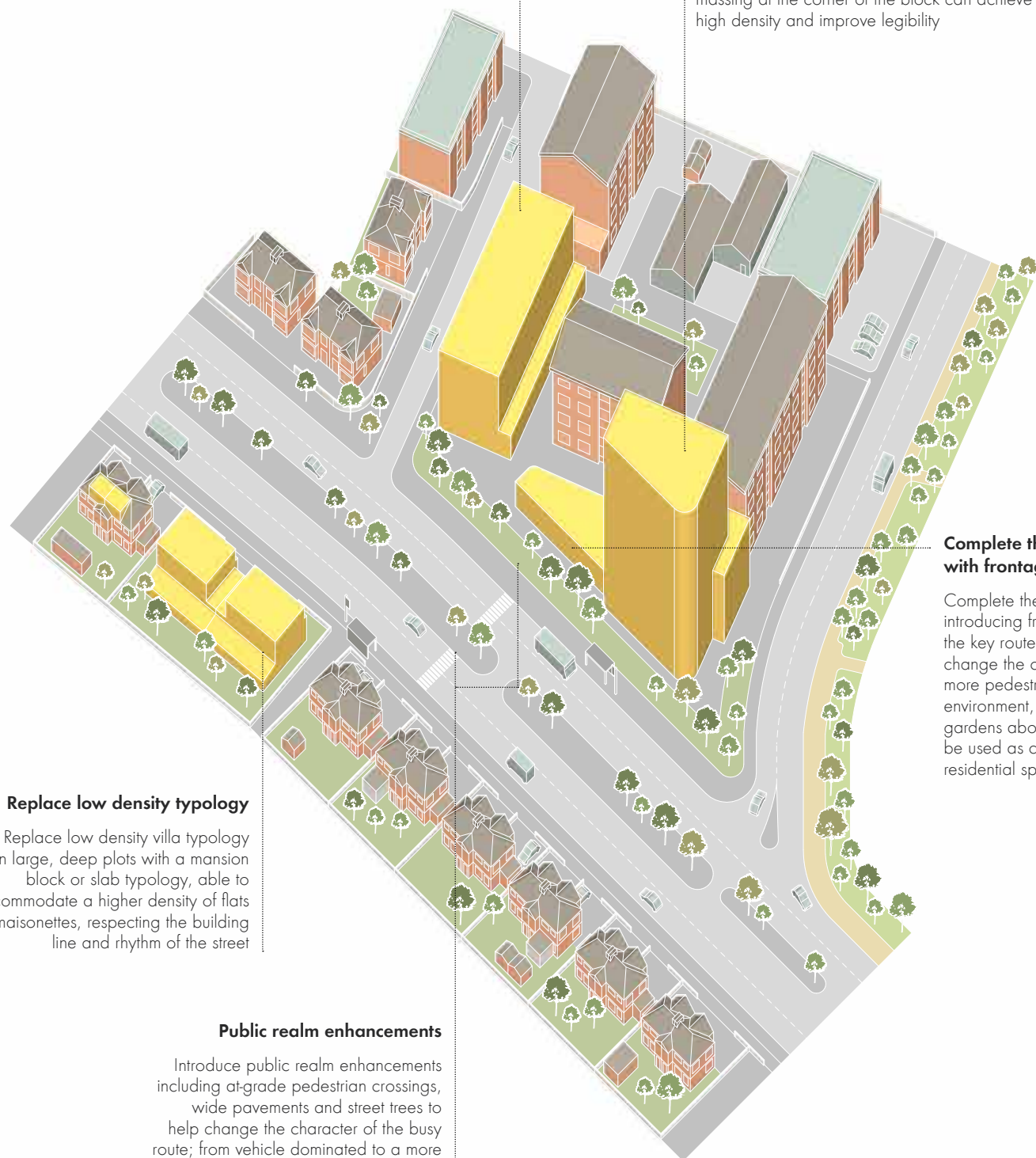


Redevelop car parking lot

A more efficient use of land, mid-rise development can help to formalise the urban environment, creating consistent frontage to the block, a consistent datum and a more coherent sequence of spaces between buildings

Introduce high density typology

Tall buildings could be suitable to a corridor site, with a step up in height helping to define a more distinctive character. Concentrating massing on a podium 'shoulder' will create a better quality environment at ground level, whilst concentrating massing at the corner of the block can achieve high density and improve legibility



Replace low density typology

Replace low density villa typology on large, deep plots with a mansion block or slab typology, able to accommodate a higher density of flats or maisonettes, respecting the building line and rhythm of the street

Public realm enhancements

Introduce public realm enhancements including at-grade pedestrian crossings, wide pavements and street trees to help change the character of the busy route; from vehicle dominated to a more pedestrian-friendly environment

Complete the block with frontage

Complete the block by introducing frontage along the key route, helping to change the character to a more pedestrian-oriented environment, podium gardens above could be used as communal residential space

URBAN CUL-DE-SAC

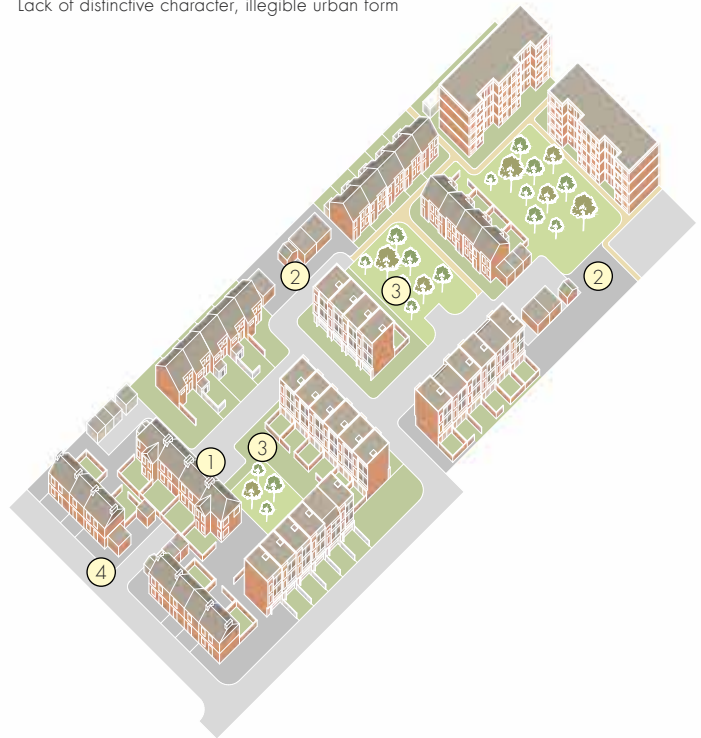


Modern town house

Urban cul-de-sac

Opportunities

1. Poor quality edge condition and lack of frontage
2. Excess surface car parking, inefficient use of land
3. Low density detached villa property
4. Poor quality pedestrian environment, dominated by vehicles
5. Lack of distinctive character, illegible urban form



Profile

Existing building types

- Slab blocks, houses, semis, maisonettes, bungalows

Forms of intensification

- Infill, surface parking, garages, partial redevelopment

Scale of intensification

- Minor/moderate

Considerations

- Suburban and urban settings, varied character, low-mid rise, medium scale, irregular parcel geometry, entire urban blocks
- Less sensitive to change than other types

Objectives of intensification

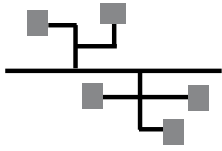
- Reintegrate the urban fabric and dead-end streets. Provide a clear delineation of public/private space

Locations

- Northolt

Key considerations

- Strategic vision and framework required from the inception in order to successfully deliver long-term objectives and transformation
- Repairing the urban fabric through the creation of routes, streets, spaces and buildings that integrate with surrounding grain
- Soft edges - delivering public realm and movement investment outside of the red line boundary to blur the edges of development
- Gradual transition in scale to mediate between low density surroundings and higher density proposals
- No net-loss employment floorspace in designated SIL / LSIS required
- Overcoming severance of road and rail infrastructure is essential - strong pedestrian and cycle connectivity
- Resilience needed with masterplans demonstrating flexibility between uses and 'alternative futures'



Enhanced public realm

Replacing low density typology with high quality play space, providing a central space for the community fronted by homes on all sides

Redevelop garages and storage

A more efficient use of land, development creates a consistent frontage to new play space and enhances the edge condition of the block

Corner infill

Tidy up 'leaky' corner and secure block edge, maximise plot depth, stepped massing reducing impact on overlooking of neighbouring back gardens

Redevelop garages and storage

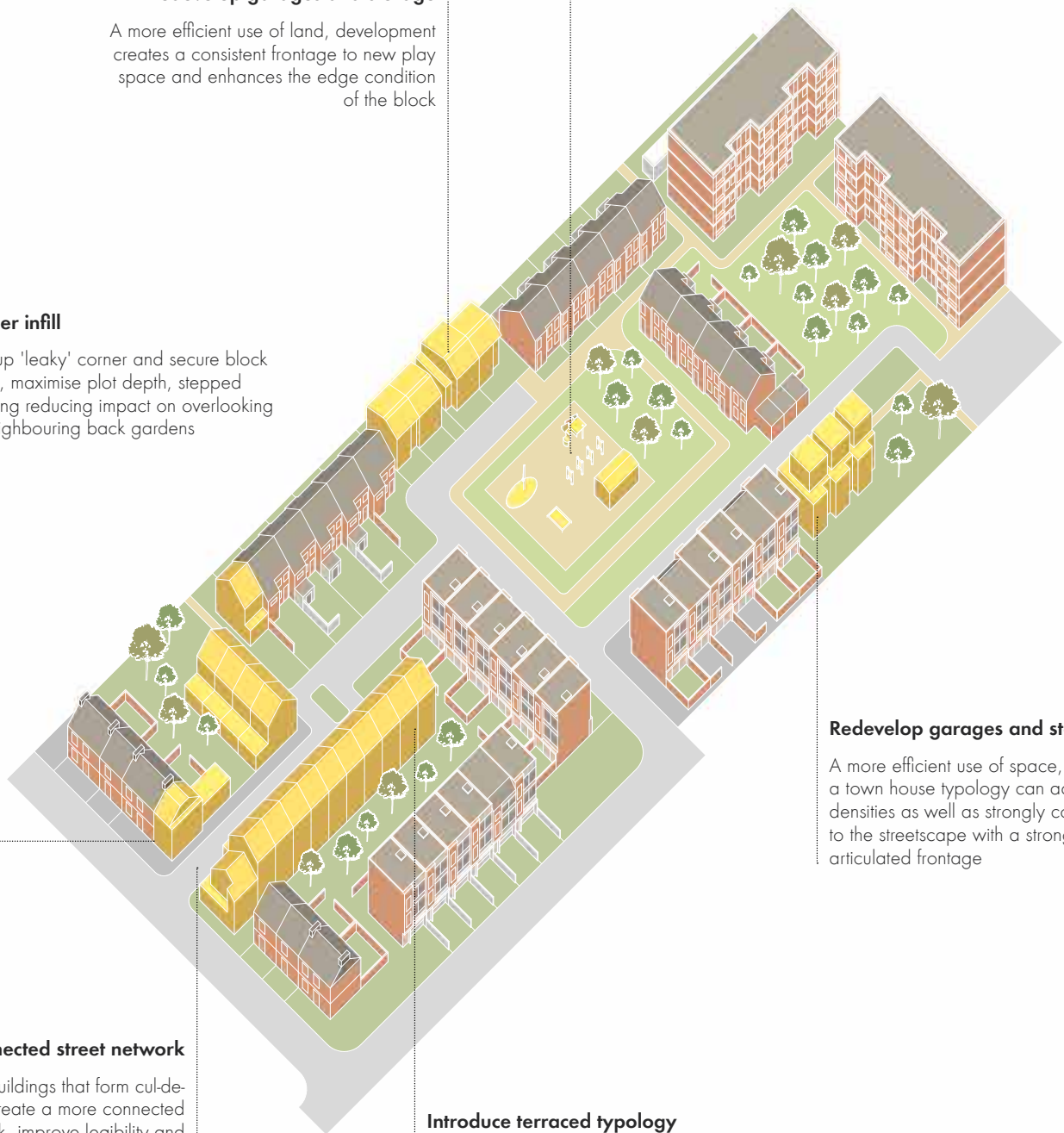
A more efficient use of space, introducing a town house typology can achieve high densities as well as strongly contributing to the streetscape with a strong and well articulated frontage

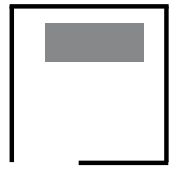
Connected street network

Removing buildings that form cul-de-sacs to create a more connected street network, improve legibility and create compact, continuous blocks defined by frontage on each side

Introduce terraced typology

A terraced typology complements the local character and rhythm of front doors, creating a compact block by providing frontage on all sides





Big box retail

Institutions

Industry

Profile

Existing building types

- Industrial sheds, big box, retail parks

Forms of intensification

- Change of use class, partial redevelopment, surface parking, yards, roof extensions

Scale of intensification

- Moderate/major

Considerations

- Industrial setting, varied character, low-rise, large-scale, fractured land ownership, regular parcel geometry, mixed use

Objectives of intensification

- Rebalance/diversify mix of uses, activate underutilised land, humanise environments, retain and add employment and industrial floorspace

Locations

- Acton Park, Acton Vale, Greenford, Park Royal

Key considerations

- Strategic vision and masterplan required from the inception in order to successfully deliver long-term objectives and transformation
- Repairing the urban fabric through the creation of routes, streets, spaces and buildings that integrate with surrounding grain
- Soft edges - delivering public realm and movement investment outside of the red line boundary to blur the edges of development
- Gradual transition in scale to mediate between low density surroundings and higher density proposals
- No net-loss of employment floorspace in designated SIL / LSIS required
- Overcoming severance of road and rail infrastructure is essential - strong pedestrian and cycle connectivity
- Resilience needed with masterplans demonstrating flexibility between uses and 'alternative futures'
- Provide additional employment floorspace to meet needs of existing and emerging businesses



Slab

Tower

Mansion block

Case study

This project delivers over 3,800 new mixed-tenure homes through the comprehensive redevelopment of the South Acton Estate. A revised masterplan was prepared by Allies and Morrison to update the originally consented masterplan from 2012, with additional sites and council-owned assets forming part of the updated application. Overall there will be twice as many homes at the estate than before, with 40% of all new homes genuinely affordable and two thirds of those homes will be family sized.

Three design concepts are a consistent thread in the process: bringing back the street, making space for the existing mature trees and creating public gardens for the new neighbourhoods. This builds on the leafy character of the estate and, combined with front doors on the street and a street address for every home, make the scheme firmly rooted in its context.

Acton Gardens (remaining area) Masterplan, Ealing, London
Architect: Allies and Morrison

Profile

Existing building types

- Estate slab blocks, towers, semis, maisonettes

Forms of intensification

- Infill, surface parking, partial redevelopment

Scale of intensification

- Moderate/major

Considerations

- Urban setting, varied character, low-high rise, medium-large-scale, consolidated land ownership, irregular parcel geometry, entire urban blocks

Objectives of intensification

- Reintegrate the urban fabric and dead-end streets. Provide a clear delineation of public/private space

Locations

- Acton, Ealing

Key considerations

- Strategic vision and masterplan required from the inception in order to successfully deliver long-term objectives and transformation
- Work with existing irregular arrangement of free form slabs and towers, using character of the existing to inform the new - not assuming wholesale redevelopment by 'starting again'
- Use development to formalise poorly defined spaces, strengthen the urban structure through creation of streets and routes
- Infill opportunities and small interventions can make use of under utilised land, in combination with public realm enhancements to improve legibility
- Selective redevelopment of poor quality buildings can free up space for more dense typologies that create better, warmer and healthier homes
- Unlock connections at the site boundary to stitch into the surrounding context
- Consider community/leisure uses early

borough areas

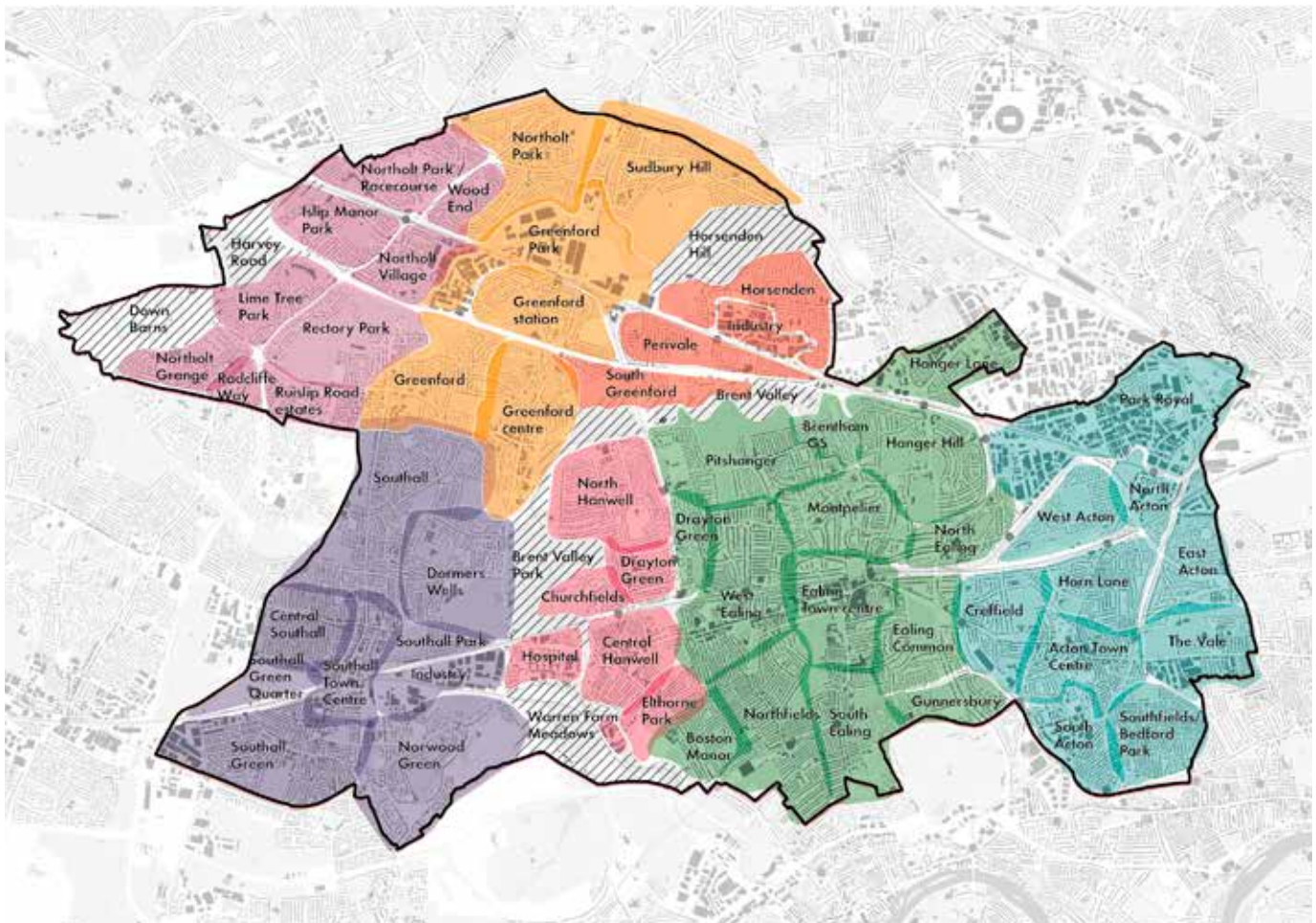
Borough areas

Borough areas and neighbourhoods

Ealing is characterised by seven broad areas of Acton, Ealing, Hanwell, Southall, Northolt, Greenford, and Perivale. Each have distinctive character and a number of neighbourhoods within them that overlap at points, as one residential area blends into another, and sit separately from one another at other points, where infrastructure or distinct urban morphology divide them.

The following section breaks the borough down into each of the seven areas and provides an overview on their characteristics and key features; issues and opportunities; typological mix and distribution; neighbourhoods; and an a number of strategic themes to focus character-led growth in different settings.

The strategic priorities and character-based themes are summarised on an overarching spatial framework to deliver targeted place-based intensification that fall within the Mayor's Good Growth agenda.



Ealing has 7 main borough areas each comprising many different neighbourhoods

Average density across the borough

Like the rest of London and the country, Ealing needs to find land to accommodate new homes, jobs, green spaces and community infrastructure. In order to make the most efficient and sustainable use of land available, it is helpful to understand the relative density of neighbourhoods across the borough.

The below plan illustrates the Floor Area Ratio (FAR) density of different neighbourhoods, with FAR the ratio of a building's total floor area (gross floor area) to the size of the piece of land upon which it is built. This is a useful way to measure the relationship between building heights, building coverage, the efficiency of the plots in which they sit and the physical density it results in.

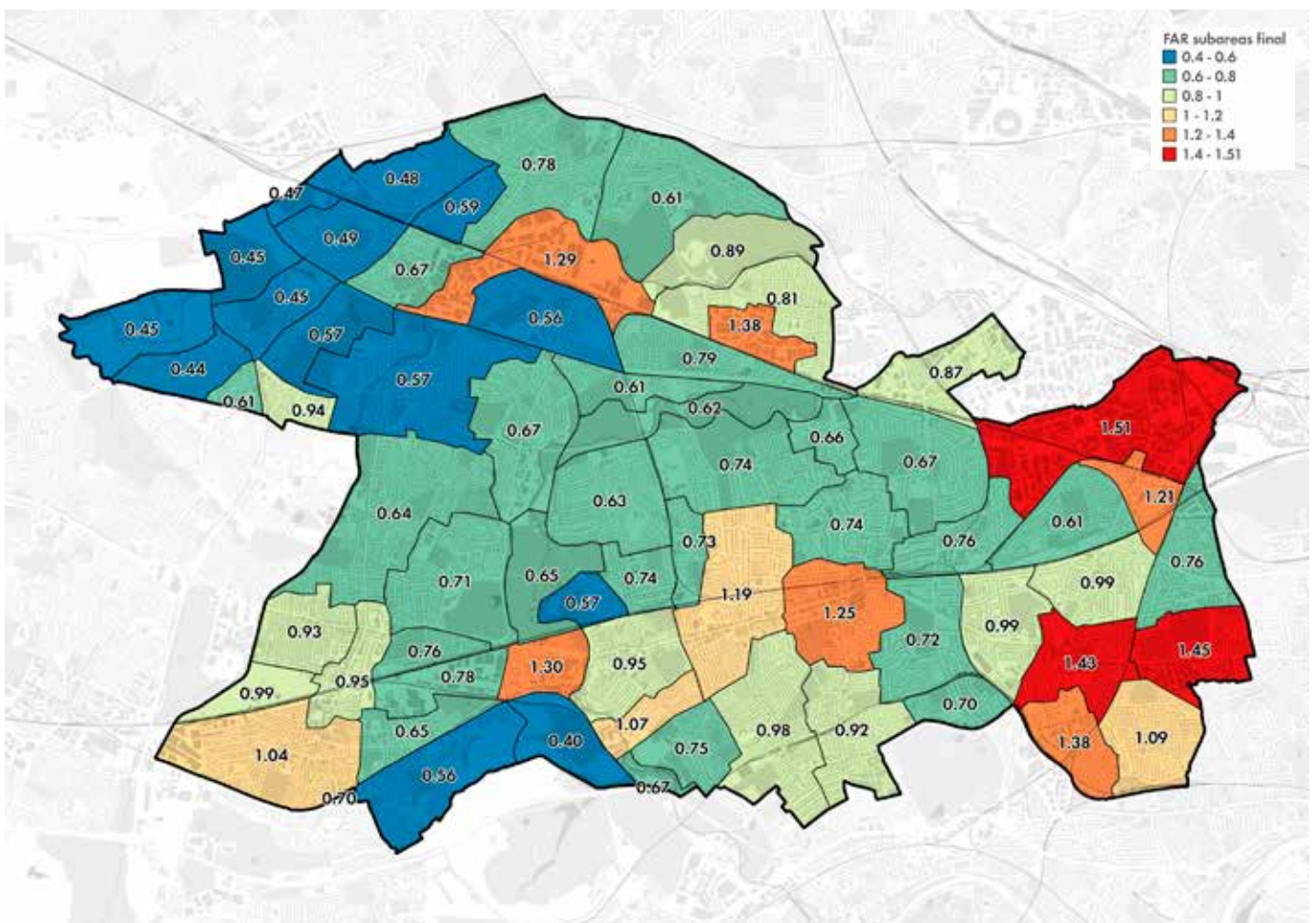
Areas such as town centres tend to have higher average densities due to taller building heights, intensively used plots and less open space. This is particularly true of historic town centres that are

compact and have a strong urban structure, as seen below in Ealing and Acton town centres.

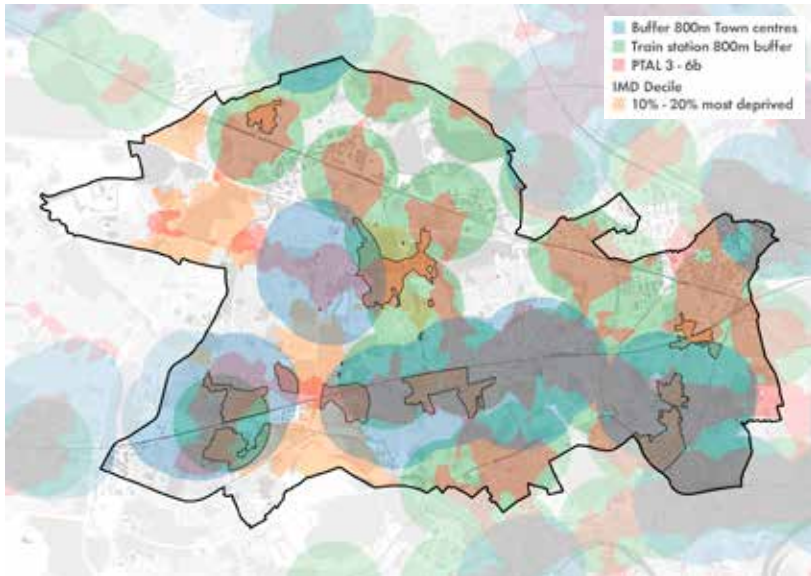
It is this strong urban structure that gives rise to a positive relationship between built and unbuilt space, with continuous blocks achieving higher average densities. This is reflected in areas where dense typologies are prevalent e.g. urban terraces in parts of Southall and Acton.

Conversely, areas where free-form estates of slabs, towers and urban cul-de-sacs are common represent an inefficient use of land. Underused green space, large areas of surface car parking and modest building heights generate lower average densities, as seen in parts of Northolt.

It is areas of low density and poor character that represent the greatest opportunities for densification. A holistic approach to regeneration can use growth to improve the physical environment as well as help address social and economic deprivation in Ealing.



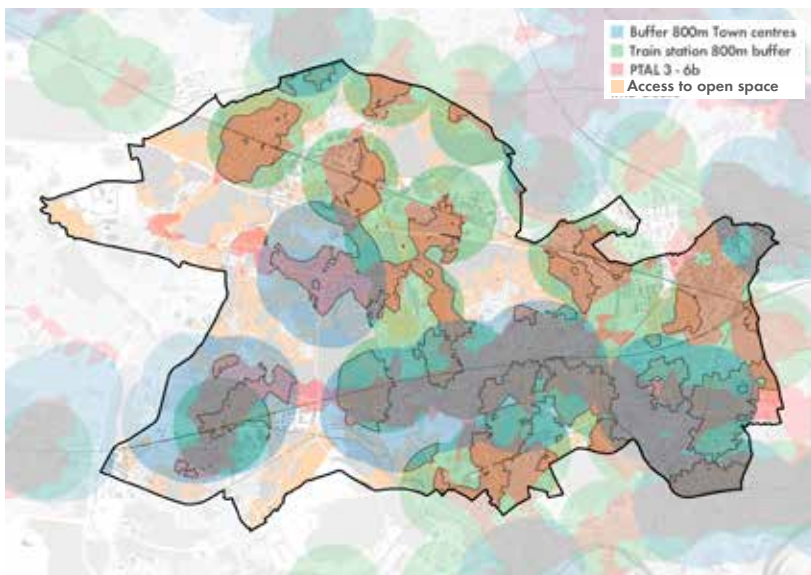
Average Floor Area Ratio density across Ealing by neighbourhood



Strategic Areas for Regeneration

The London Plan (2021) identifies Strategic Areas for Regeneration as areas within the top 20% national rank of Indices of Multiple Deprivation. These are priority places for regeneration, where new homes can be focused but where development should help to address any locally-specific deprivation issues and help to overcome inequality rather than simply providing new homes.

The plan opposite illustrates areas that meet two of the London Plan small sites criteria and are within the top 20% of relative multiple deprivation nationally. These could be areas for strategic investment in new homes, alongside related regeneration measures.

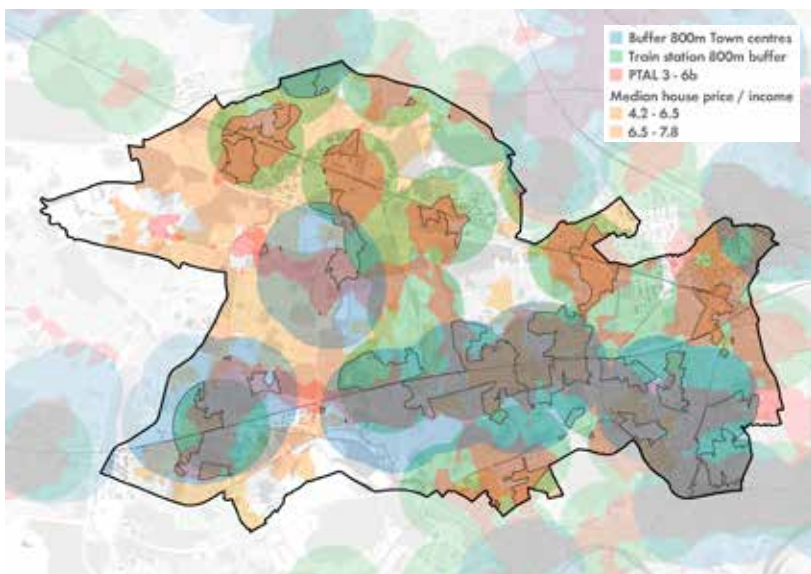


Access to publicly accessible open space

The London Plan (2021) stipulates that all new homes should be within walking distance of an open space which is two hectares or larger.

If possible, it would be sensible for Ealing to prioritise new housing (both on small sites and large) that meets these criteria for open space access and can help to support the physical and mental health of residents.

The plan opposite illustrates the areas within Ealing that meet two of the London Plan small sites criteria and are also within walking distance of open spaces which are two hectares or larger.



Areas of relative affordability

London has not only a shortage of housing in general, but an intense shortage of affordable homes for Londoners. It is important to consider focusing the delivery of new homes in areas that are most likely to be affordable for local residents and residents of neighbouring boroughs.

The plan opposite illustrates areas within the borough which meet two of the London Plan small sites criteria and are also within the two most affordable categories for housing in the borough - homes which are between 4.2 and 7.8 the average annual salary for the local area.

Areas of Intensification

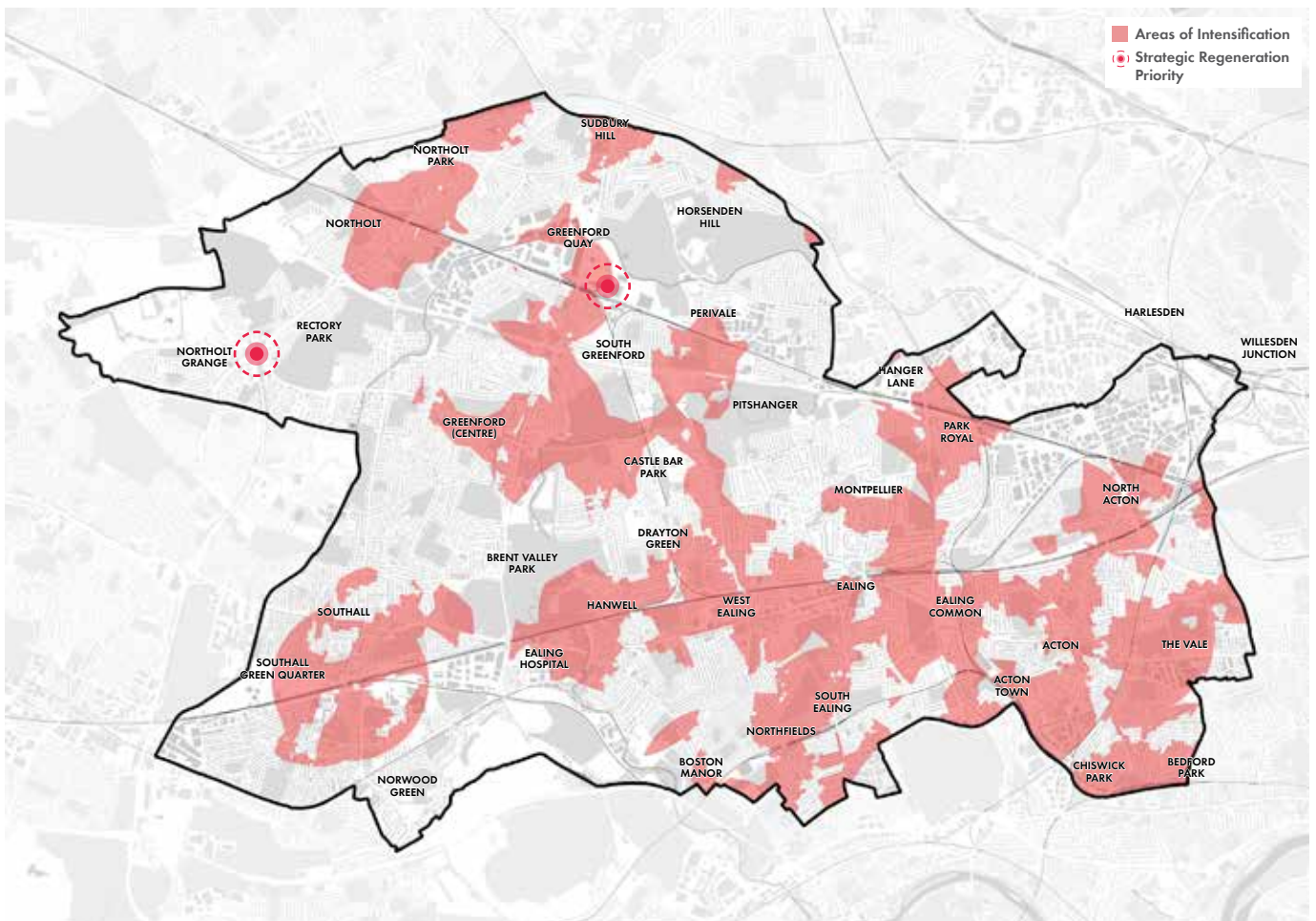
In order to help target investment and focus place-based regeneration the following Areas of Intensification have been identified across Ealing. This area is a composite of locations identified opposite, representing priority zones for intensification.

Whether this forms comprehensive mixed-use densification of new Crossrail stations, community-led estate regeneration, public realm investment or residential infill development is dependent on the character and context. The Areas of Intensification are primarily a helpful tool at the borough-wide level to highlight opportunities for more detailed studies. These studies can better understand the specific barriers to and drivers of growth; the capacity for change; and the needs of local communities to help vision what intensification should look like in that setting.

Delivering infrastructure to unlock development

There are parts of the borough that would benefit from a bespoke regeneration strategy, particularly isolated and low density neighbourhoods. Some of these fall within Strategic Areas for Regeneration and present the opportunity to address inequality and deprivation in local communities.

Whilst some of these areas, such as Northolt West End, do not currently fall within the areas of intensification, they require a more comprehensive approach to growth and enhancement, with a focus on securing new and improved supporting infrastructure to address pre-existing deprivation and unlock future development sites. These are defined as Strategic Regeneration Priority areas, included on the plan below.



Borough wide plan illustrating areas of intensification and Strategic Regeneration Priority areas

Acton



Profile

- Acton has a complex, layered fabric and structure that reflects its evolution as a stopping point en route to London's central markets; a home of industry and making; and one of London's early suburbs. This is reflected in the intricate patchwork of typologies.
- Acton town centre is the historic heart of the area, with a significant number of heritage buildings and a concentration of commercial uses.
- There are seven Conservation Areas, four zones of archaeological interest, a large number of Grade II Listed buildings and three Grade II* buildings.
- Bedford Park is often regarded as the first garden suburb (though not a co-operative) and most of the homes within the area are Grade II Listed.
- Strategic Industrial Land forms part of Old Oak Common and Park Royal OA; Locally Significant Industrial Sites are seen at The Vale and South Acton.
- The area has estates at Acton Gardens (recently regenerated), Friary Park, The Vale and East Acton.



Figure ground plan

Issues and opportunities

- Proposals for Park Royal will require coordination with OPDC and take account of the significant number of new homes coming forward just beyond the borough boundary.
- The area is very well served by stations and local centres (GLA small site criteria), and active/public transport can be encouraged.
- However, green space deficiencies in the area mean priority should be given to new spaces and green links.
- Development in many areas will need to respond to Acton's historic environment in terms of scale, type and materiality. This is particularly the case for Acton town centre, as heritage at risk.
- Pockets of overcrowding in North Acton and Acton town centre should be balanced out as new homes come forward.
- The A40 divides neighbourhoods and creates very poor air quality. Effort should be made to improve the environment and pedestrian links here.



Clockwise from top left: Urban terraced house; grand Edwardian parade along Acton High Street; Moderne influences felt at Grade II Chiswick Park Station in the very south of the borough; new town houses and streets introduced through regeneration at Acton Gardens



For key see A1 report page 42

Floor Area Ratio

The darker tint shows higher FARs in the industrial areas at Park Royal and The Vale; in Acton town centre; and at Acton Gardens. Lower FARs are found in the cottage estate areas between West Acton and North Acton and at East Acton. (CAs are green)



For key see A1 report page 88

Centres and stations

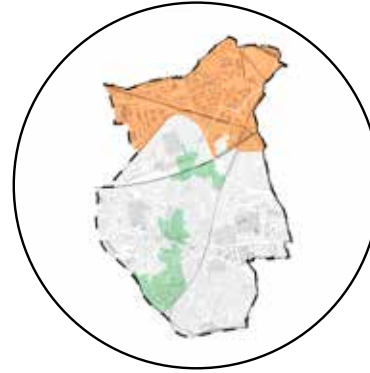
Acton is traversed by rail lines which provide good connections to central and north London but divide neighbourhoods. Stations are well distributed, giving high PTAL values and access to local centres mean much of the area meets the GLA criteria for small sites.



For key see A1 report page 78

People per hectare (ppha)

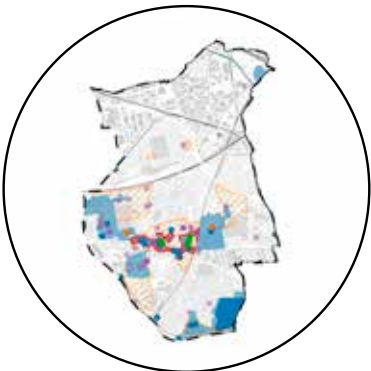
Acton has some of the highest population densities in the borough, reflecting its position at the border of inner London. These are particularly high at The Vale estate and parts of Acton Gardens. Much of the Horn Lane area also has reasonably high ppha. This map does not correlate with the overcrowding plan, with North Acton ppha being surprisingly low



For key see A1 report page 64

Areas of regeneration

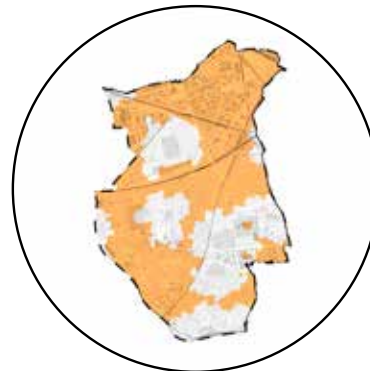
Park Royal sits within the Old Oak Common and Park Royal Opportunity Area. Whilst this land is SIL, the new station and significant number of new homes will change the role and character of this area. Areas of regeneration (20% most deprived LSOAs) are found at South Acton, in Acton town centre and by Friary Park Estate. The London Plan (2021) suggests these could be the focus of new homes and targeted investment, as happened at Acton Gardens.



For key see A1 report page 38

Heritage

Conservation areas cover Bedford Park Garden Suburb, Acton Green, Acton Town Centre (Heritage at Risk), Acton Park, Mill Hill Park, Creffield and Old Oak Lane. Significant historic assets are found at the Goldsmith's Almshouses north of Acton Park and The Elms, part of Twyford School (both Grade II*). All homes within Bedford Park are Grade II, as is Chiswick Park station.



For key see A1 report page 31

Access to open space

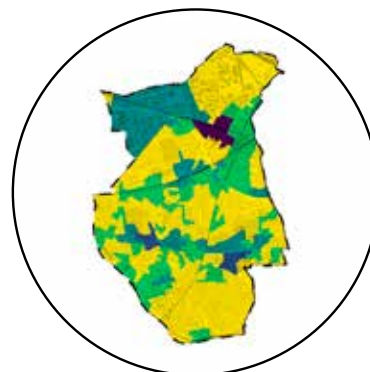
GLA stipulates that all homes should be within 400m of an open space of 2ha or greater. Much of Acton fails to meet this criteria and providing pocket parks and green links to existing open spaces should be a priority.



For key see A1 report page 71

Ethnicity

Acton is home to many communities and has a rich mix of ethnicities. Some of these are grouped in particular areas, but Acton Gardens, Acton town centre and parts of East Acton stand out as being particularly heterogeneous.



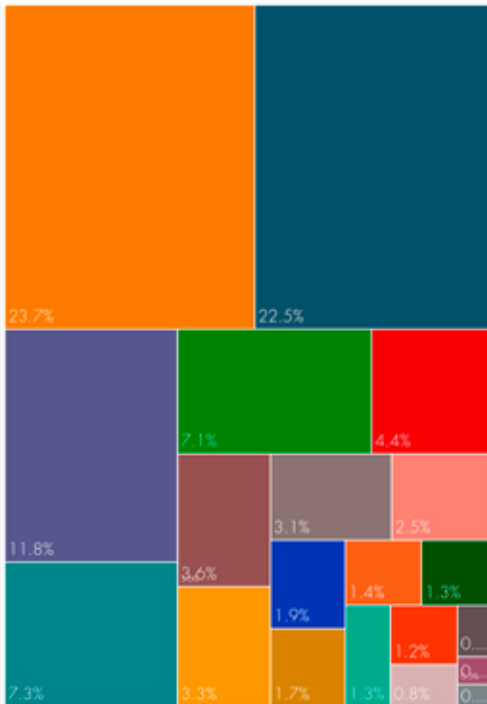
For key see A1 report 81

Overcrowding

Acton generally has low levels of overcrowding, but North Acton station area stand out as having significant levels of overcrowding. This may be due to the dominance of student housing, with single room living. Apartment living at The Vale industrial area and Acton town centre also results in some overcrowding. This should be considered if new homes are brought forward in these areas.

Top 5 most common typologies

- 1. Industry
- 2. Urban villa / spacious
- 3. Urban terrace
- 4. Suburban semi-detached
- 5. Open space



Typologies

Acton has an incredibly varied typological make-up despite 24% of the area being covered by industry. Acton's historic evolution and layering of development means the typology template is the most fine grain of the borough areas.

The most common housing type by far is the spacious villa/detached (22.5%) but there are also significant amounts of urban terraces and suburban semi-detached and also areas of garden suburbs, cottage estates, urban cul-de-sacs and slab blocks.

The area is already reasonably dense, but examples from elsewhere in London suggest that these 'urban' housing types and block structures can successfully accommodate single new dwellings or mews style development, when designed carefully.

For full key see page 7



Pocket parks such as this one in South Acton can provide valuable accessible green space where 2ha parks are not possible



Many of Acton's homes are of the spacious urban villa type. These have generous plots and high levels of facade articulation.



The tranquil Goldsmith's Almshouses on East Churchfield Road are one of three Grade II* Listed buildings in the area



Industry covers a significant area at Park Royal, and is also interweaved at The Vale and South Acton



Door and window details at Mill Hill Park conservation area.



North Acton, allocated as a site for tall buildings in the last London Plan, has seen significant levels of student housing development. Access to open space is a priority for the area



Neighbourhoods in Acton

Park Royal

SIL and part of the OOC-PR Opportunity Area. The area looks to north and has a strong relationship with Brent. Much is bound by rail, but mediation is needed for pockets of housing, such as Old Oak Lane CA. The canal presents a key opportunity to improve the environment.

North Acton

A number of tall buildings have delivered a significant amount of student housing by the station over the last 10 years, with more in the pipeline. Good access to Acton Cemetery and North Acton Playing Fields is important for residents. A question exists as to whether this area has now 'topped out' in terms of tall buildings.

West Acton

A residential community centred around playing fields, bound by three rail lines, with sidings and aggregate distribution at the south. Cottage estate and suburban housing predominates, with some bungalows on large plots. A local centre at the station reflects the nearby Japanese community.

East Acton

Dissected by the A40, the large cottage estate to the north looks eastwards to Hammersmith and Fulham. South of the A40 semi-detached housing is set on spacious streets with central reservation planting. Access to shops and services is limited in this location.

Horn Lane

An area of legible streets with rows of urban terraces of consistent character and minor infill developments, incorporating Springfield Gardens. Friary Park Estate is at the north and is a focus for regeneration, being within the 20% most deprived LSOAs for IMD.

Creffield

The conservation area covers a significant portion of this neighbourhood of spacious urban villas. The area includes Twyford Avenue Sports Ground and looks west to Ealing Common.

Acton Town Centre

Uxbridge Road runs through the town centre, with shops, services and community uses lining the road. Behind this, Churchfield Road provides a secondary high street of independent shops. There are positive examples of compact urban infill on Churchfield Street and generous urban blocks to the north. Recent high density apartments sit centrally in the town centre.

The Vale

The Vale incorporates Locally Strategic Industrial Land, Victorian urban terraces, The Vale Estate, the former Ministry of Pensions mansion block (now converted) and Acton Park. The area looks east to Shepherds Bush, with Uxbridge Road linking the two.

Chiswick Park/Turnham Green

Incorporating Southfields at the north, including the playing field, and with Bedford Garden Suburb CA at the south, this area has spacious villas and urban terraces and looks southwards to Chiswick High Road as its commercial centre.

South Acton

The former South Acton estate has been regenerated as Acton Gardens with successful reinterpretations of town houses and slab blocks. Industry remains to the south, with legible streets of urban terraces south of this. Intensification is currently underway close to South Acton station.

Character based growth themes

Softening edges

- Use development to successfully mediate between different uses such as Strategic Industrial Land residential neighbourhoods. The relationship with OOC-PR OA is a key priority
- Soften infrastructure corridors to benefit existing and new residents, through planting and possible longer term narrowing of roads

Reinforce grain of urban blocks

- Review larger urban blocks for possible mews infill development, as has been done well at Copper Lane in Stoke Newington. Make use of existing access points where possible such as at Cumberland Road.
- Find opportunities for small infill sites for single dwellings to reinforce the existing grain. This approach has worked well in Hackney and Southwark.

Small /pocket parks and green links

- To address green space deficiencies, identify pocket parks in new development, and opportunities to enhance/expand existing small green spaces or 'left over' green areas
- Establish green links that can connect existing and new homes to larger parks such as Acton Park, Wormwood Scrubs, Springfield Park, and North Acton and Southfields Playing Fields.

Intensify Cottage Estates

- Review opportunities to intensify cottage estate areas using 'left over land' to strengthen the urban structure and invest further in green

Character based growth themes

spaces to be retained, so these are attractive and usable. Examples for this could be at East Acton and in the area around North Acton Playing Fields

Emphasise spine routes

- Intensify along the key spine route of Uxbridge Road at appropriate points, consolidating frontage and increasing building heights slightly to frame the route.
- Consider a mix of uses and greening the route to provide an attractive and sustainable pattern for living.

Scale of intensification

Reinforce

- Bedford Garden Suburb CA
- Creffield CA
- Mill Hill Park CA
- Old Oak Lane CA
- Acton Green area

Repair

- Acton Park CA
- Acton town centre (including CA)
- The Uxbridge Road corridor
- Park Royal
- The Vale and South Acton SIL
- West Acton cottage estate/bungalows

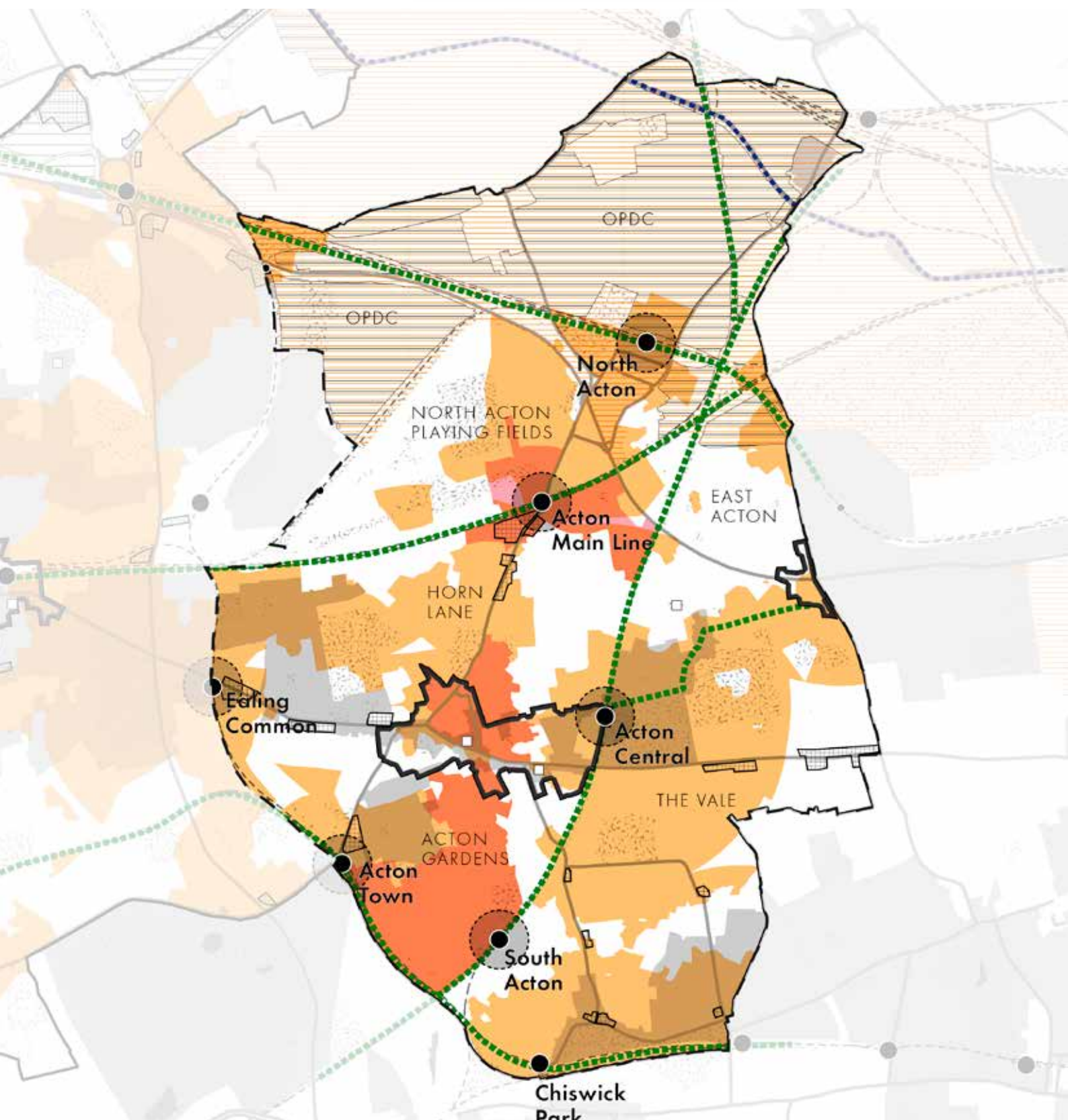
Reimagine

- South Acton area
- Friary Park area
- North Acton area
- A40 corridor

KEY

- Station
- Landmark
- Railway line
- Sub-area boundary
- Open space
- Green Belt
- Conservation Area
- Station intensification
- Town Centre or Neighbourhood Centre

- Local Parade
- Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Acton framework plan

Ealing



Profile

- Ealing is the commercial heart of the borough, with the Metropolitan Centre having shops, offices and civic functions for the borough and fast links into central London.
- Homes vary, with a large number of spacious villas, in addition to mansion blocks, garden suburbs and 1960s townhouses,
- As the historic core of the borough, Ealing has magnificent buildings including Grade I Pitzhanger Manor at Walpole Park. The Grade II* former Odeon Cinema at Northfields is compromised by recent facade treatments. Much of the area is covered by conservation areas, though Ealing town centre CA is considered heritage at risk
- Topography is an important part of the area, with Hanger Hill and higher parts of Montpelier having long views towards Wembley Stadium.
- Recent high density, mixed use development in the town centre at Dickens Yard reflects the increased connectivity and appeal that Crossrail will bring.



Figure ground plan

Issues and opportunities

- Careless conversions of spacious villas into HMOs has undermined heritage and townscape elements, (e.g. paving front gardens). Conversions could contribute to creating more homes, if done well.
- Opportunity to sensitively increase density in Ealing town centre to take advantage of Crossrail, while being mindful of its heritage at risk status
- Potential to intensify along the Uxbridge Road in general, with mansion block/flatted development
- Opportunity for new homes in the Northfields, Boston Manor and Gunnersbury areas, which fall within the GLA small sites search area and also have good access to green space.
- Land and house prices in the area mean new homes may not be affordable for all
- Areas of West Ealing and East Drayton require targeted investment as Strategic Areas for Regeneration; this could see new homes delivered.
- Air quality is an issue in the Hanger Lane area, due to the A40 and North Circular roads.



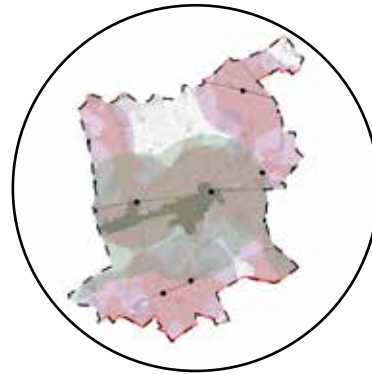
Clockwise from top left: Recent development at Green Man Estate in West Acton; St Stephen's Church; Lammas Park Gatehouse, Northfields; and Brentham Garden Suburb



Floor Area Ratio FAR

Ealing has a high FAR in the town centre, with relatively low FARs elsewhere, particularly in the Montpelier and Pitshanger areas to the north of the town centre.

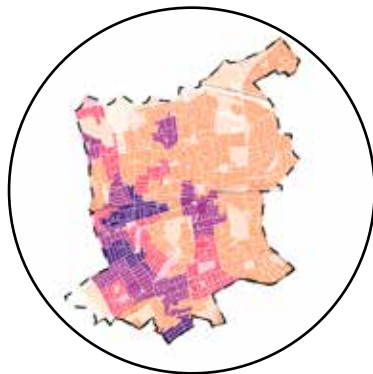
For key see A1 report page 42



Centres and stations

Most of Ealing has good access to both stations and centres, and therefore falls within the GLA search areas for small sites. The exception is the Pitshanger and Brentham GS areas in the north.

For key see A1 report page 88



People per hectare PPHA

There is a clear pattern of higher levels of ppha in the South Ealing, Northfields and West Waling areas, perhaps due to extended homes and large family living

For key see A1 report page 78



Areas of regeneration

Ealing incorporates the edge of the Old Oak Common Park Royal Opportunity Area in the far north eastern tip. Areas of regeneration (20% most deprived LSOAs for IMD) are found in West Ealing including the Green Man Estate; in East Drayton close to Castle Bar station and at Gurnell Grove Estate.

For key see A1 report page 64



Heritage

Much of Ealing is covered by 14 conservation areas, including Brentham GS, Brunswick, Ealing Common, Ealing TC (Heritage at Risk), Ealing Green, Hanger Hill GE, Haymills, Haven Green (Heritage at Risk), Montpelier Park, Mount Park and St Stephens. Stand out buildings include Pitshanger Manor (Grade II), Christ the Saviour, St Mary's and St Peter's Churches (all Grade II*) and the former Odeon Cinema (now Christian Centre) at Northfields (II*).

For key see A1 report page 38



Access to open space

The areas of Pitshanger, Hanger Hill, Ealing Common and Northfields each have good access to open space. Deficiencies exist across Ealing Town Centre, some parts of South Ealing, North Ealing and Boston Manor. Investment in green space would be required for new development in these areas to provide a good quality of life.

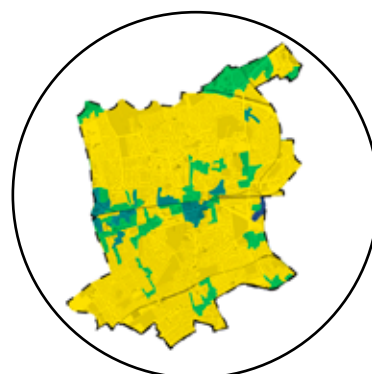
For key see A1 report page 31



Ethnicity

Although the borough is incredibly diverse, the Ealing sub-area is relatively homogeneous, with a large white, British community. Exceptions to this are found in West Acton, which has a very diverse community, and in the North Ealing and Haymills areas, which have concentrations of Asian and British Asian communities.

For key see A1 report page 71



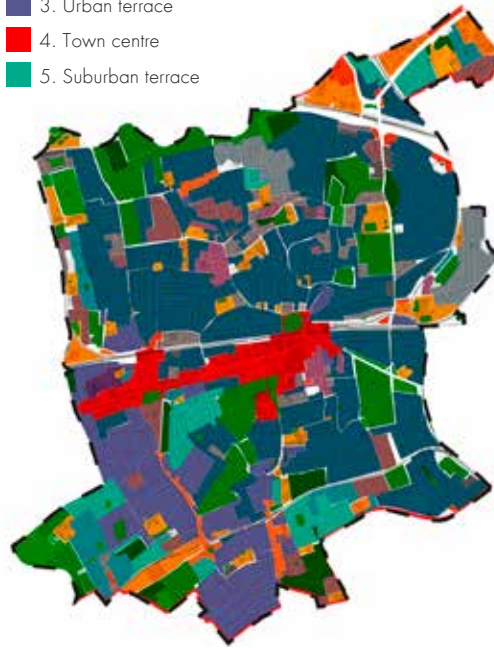
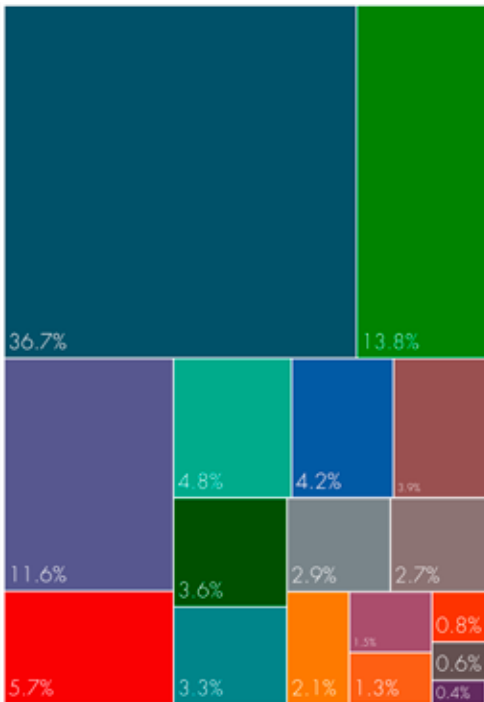
Overcrowding

There are relatively low levels of overcrowding across Ealing, with exceptions by North Ealing station, in the core of the town centre, at West Ealing and at Hanger Lane, north of the A40.

For key see A1 report 81

Top 5 most common typologies

- 1. Urban villa / spacious
- 2. Open space
- 3. Urban terrace
- 4. Town centre
- 5. Suburban terrace



Typologies

By far the most predominant typology (37%) within Ealing is the spacious urban villa. Many of these are substantial detached double fronted homes on generous plots. Some have been converted to HMOs or replaced with mansion blocks overtime. Many are within a conservation area and a good portion are Listed.

The second largest type in the area is open space, though the grouping of this space does mean some neighbourhoods still have a deficiency in access to open space.

Urban terraces are the next most prevalent typology (12%), followed by suburban terraces and suburban semi-detached homes. Some suburban homes such as pockets of cottage estate and bungalows are very low density.

For full key see page 7



Roof and facade detailing at Northfields parade of shops. The character of the buildings here is intact



Recent infill development on Seaford Road, between Northfields and West Acton



Pitzhanger Manor (Grade I), recently refurbished and recipient of an NLA Conservation and Retrofit award



Spacious detached villa with craft detailing and tarmaced front garden common to this type, Montpelier/North Ealing



Holyoake Court in the Moderne style, on Pitshanger Lane



Recent infill family housing just to the north of Ealing town centre



Neighbourhoods in Ealing

Pitshanger

Covering 'Pitshanger Village' with an attractive parade of shops surrounded by spacious homes, Pitshanger Park to the north and Gurnell Grove Estate to the west.

Brentham Garden Suburb

London's first true garden suburb, predating Hampstead GS by 6 years. Housing arranged in set-pieces with front and back gardens and allotments to the north

Hanger Lane

Divided from the rest of Ealing by the A40 and rail line, this area looks towards Brent. The neighbourhood itself is divided by the North Circular, with isolated neighbourhoods of semi-detached housing and industry.

Hanger Hill

Stretching from the Hanger Lane and Park Royal station parades at the north, to incorporate the Haymills CA, Hanger Hill Park and the mansion houses and education buildings on the top of the hill.

North Ealing

Covering North Ealing station and shopping parade, the Hanger Hill Garden Estate to the north of this, and spacious villas and the Grade II Listed Ealing Village to the west.

Montpelier

On rising land to the north of Ealing town centre, with spacious urban villas and some plots where these have been replaced with mansion blocks.

West Ealing

Large offices, mansion blocks and flats centred around the Uxbridge Road. To the north and south of this, spaces urban villas and urban terraces set out on legible streets. The Green Man Estate has recently been redeveloped with podium perimeter apartment blocks.

East Drayton

Close to Drayton Green and Castle Bar stations, covering Copley Estate and Copley Wood, with education and leisure uses south of this alongside inward facing urban cul-de-sacs.

Ealing town centre

Incorporating the core town centre and the central green spaces of Walpole Park (including Pitshanger Manor) and Haven Green, Ealing Broadway shopping centre, Dickens Yard, Ealing Town Hall, the Filmworks and Ealing Studios and University of West London. Spacious villa housing is found to the north and south of the core centre.

Ealing Common

Incorporating the Ealing Common CA, with spacious villas surrounding the Common. To the south of this is suburban semi-detached homes and small scale urban cul-de-sacs.

Gunnersbury

Close to Acton Town station and to the north of Gunnersbury Park, this area has spacious villas and suburban homes (some of which have compromised character) and cottage estate maisonettes.

South Ealing

Centred around South Ealing station, with cottage estate maisonettes and Ascott Allotments to the east and urban terraces to the west. South Ealing Cemetery and urban cul-de-sacs are south of the station.

Northfields

Largely comprising urban terrace and spacious villas, with Lammas Park and Northfields allotments to the north of the station. Northfields shopping parade has an attractive historic character, though the former Odeon building is compromised. Single storey units could have future development potential.

Boston Manor

A shopping parade close to the station, with Suburban terraces and some slab blocks which are well connected to the River Brent via Elthorne Park.

Character based growth themes

Internal block intensification

- Ealing's larger urban blocks of villas and urban terraces could present opportunities for small mews and other infill sites within the blocks.
- This is more straightforward where an access route already exists and where gardens are asymmetric in length, limiting the number of involved. Positive examples of this include Copper Lane co-housing in Stoke Newington.

Careful parade intensification

- Ealing has a number of local parades, many of which are very attractive (Northfields, The Avenue and Pitshanger Lane). However, some sections of these (such as at Northfields) have single storey buildings and these could be intensified in future to provide shops with homes above.
- These areas are often historic, so designs would need to carefully respond to the surrounding scale, palette and materials.

Mid-rise intensification at stations

- The area is served by 9 stations and some of these present opportunities for mid-rise intensification, making use of good access to transport links and the services found here.
- These developments would benefit from having a mix of uses, providing some community or commercial space at the ground floor.

Re-inforce distinctiveness of West Ealing

- Ealing town centre and West Ealing coalesce along the Uxbridge Road. Investment in the buildings at this point, and additional signage will help strengthen West Ealing's distinctive identity, as will investment in Dean Gardens.

Character based growth themes

Infill intensification in low density areas

- Cottage Estate areas may have 'left over' space for corner plot or garage block development. Similar opportunities may also exist for garage areas within Hanger Hill Garden Estate. This has been done well at the Becontree Estate in Dagenham.

Sensitive intensification of villa plots

- Spacious urban villas have incredibly low densities but past conversions into apartments have not maintained historic townscape features. However, carefully done, this could play a role in providing more homes in future.

Scale of intensification

Reinforce

- Brentham garden suburb CA
- Ealing Common CA
- Montpelier

Repair

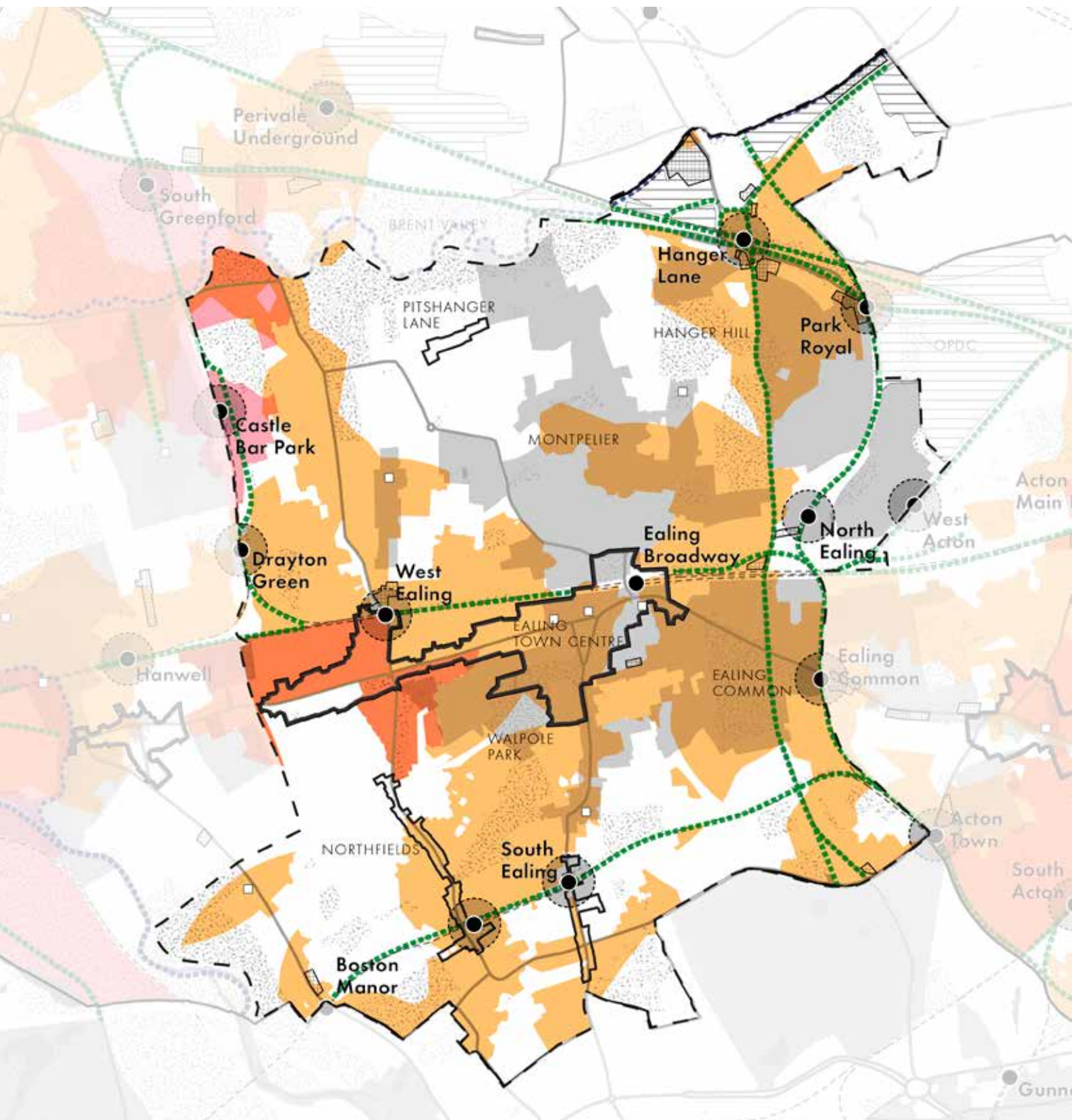
- Hanger Lane
- Pitshanger
- Hanger Hill
- Ealing town centre
- West Ealing
- Boston Manor
- Northfields
- South Ealing
- Gunnersbury
- Boston Manor

Reimagine

- East Drayton

KEY

- Station
- Landmark
- Railway line
- - - Sub-area boundary
- Open space
- Green Belt
- Conservation Area
- Station intensification
- Town Centre or Neighbourhood Centre
- ▨ Local Parade
- ▨ Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Ealing framework plan

Perivale



Profile

- Perivale has a transient character owing to its severance by three corridors of the Acton - Northolt Rail line, the A40 and the Brent Valley.
- Perivale originated as two separate historic settlements of Peri and Vale connected by what now forms the A40, although little historic fabric from this period now exists.
- The Strategic Industrial Land has a historic core, layout and fine grain of compact warehouses - uncommon with more modern industrial blocks.
- The Hoover Building is a key historic asset and example of the 1930s Art Deco style. Recently restored and converted to residential, it occupies a prominent site set back from and fronting the A40.
- Inter-war suburban semi-detached and suburban terraced development represents the most common residential typologies in Perivale.
- Perivale Station provides a small pocket of PTAL score 3 - 6b, whilst Bilton Road neighbourhood centre is the only commercial frontage.

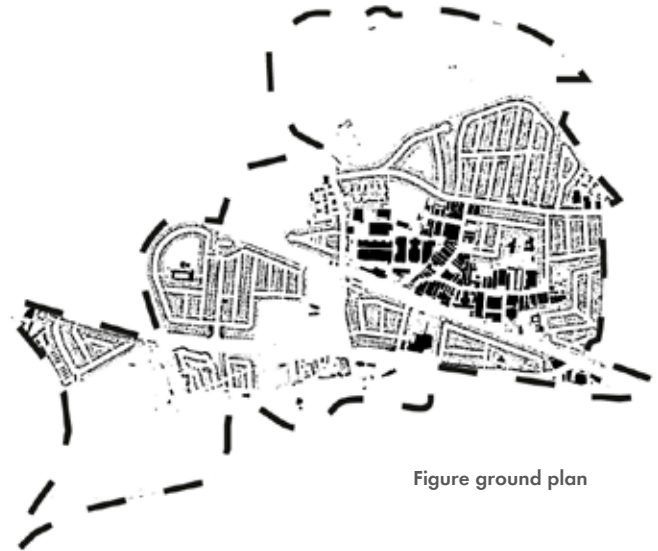
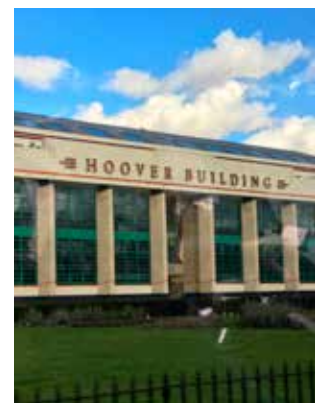
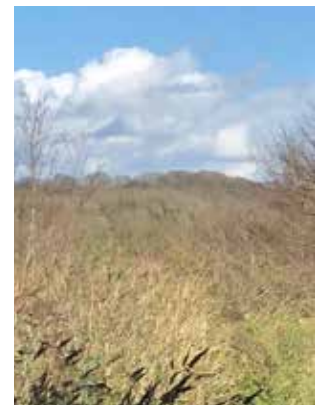


Figure ground plan

Issues and opportunities

- Large parts of Perivale are deficient in access to publicly accessible open space, which presents issues for accommodating new housing (London Plan (2021) Policy G4).
- The Strategic Industrial Land historic core has a strong, fine grain urban structure which could be sensitively intensified and diversified - increasing employment floorspace for modern industries e.g. creative, digital, makerspace.
- Increased residential densities could be delivered through regeneration of Perivale Station and its environs - strengthening the role of Horsenden Lane South, which runs beneath the rail line and connects into the A40.
- Taller buildings should take into account views to and from Horsenden Hill in the north.
- Enhanced pedestrian access and connectivity across green infrastructure assets such as Horsenden Hill and the Brent Valley will create better connected neighbourhoods.



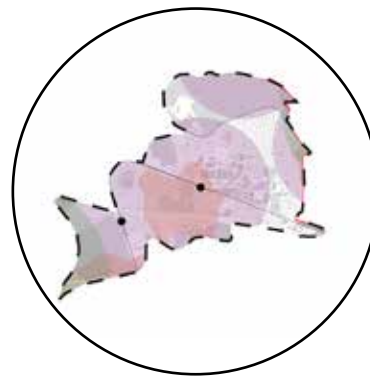
Clockwise from top left: Suburban semi-detached properties in the north; view towards Horsenden Hill from South Greenford; the Grade II* Listed Hoover Building; the A40 road creates severance between communities.



For key see A1 report page 42

Floor Area Ratio (FAR)

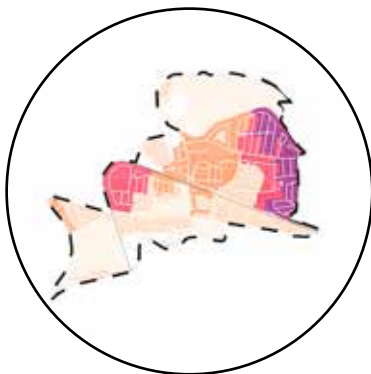
Perivale generally has a relatively low FAR other than the industrial area to the north of the Central Line station.



For key see A1 report page 88

Centres and stations

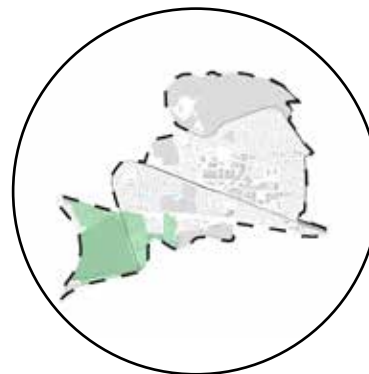
The vast majority of Perivale falls within the GLA small sites search areas, having good access to a station and/or local centre. However, Intensification opportunities would need to take account of open spaces deficiencies highlight below.



For key see A1 report page 78

People per hectare

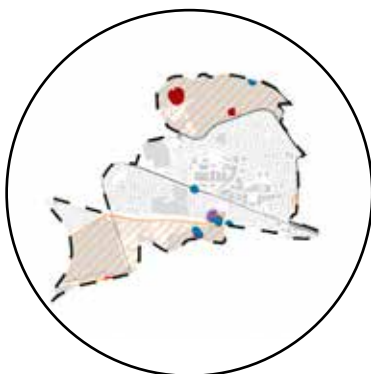
In terms of residents, the highest densities are found in the eastern part of the area, which is dominated by suburban terraces and semi-detached homes



For key see A1 report page 64

Areas of regeneration

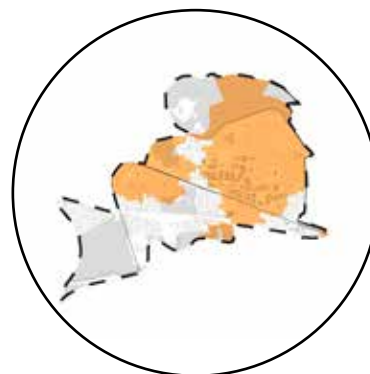
The south western corner of the area (much of which is in fact open space) is an area of strategic regeneration, being within the top 20% most deprived LSOAs in the country, in terms of the Indices of Multiple Deprivation.



For key see A1 report page 38

Heritage

Perivale is not covered by any conservation areas. However, there are clusters of listed buildings including the Grade II* Listed Hoover Building and associated structures, Grade I Listed St Mary's Church and Grade II Perivale Station. Horsenden Hill is home to an Iron Age settlement and Medieval moated site. Sites of archaeological importance are found at Horsenden Hill and the Brent Valley



For key see A1 report page 31

Access to open space

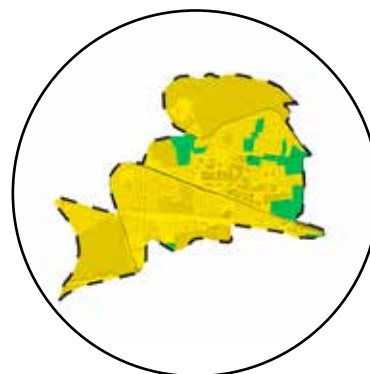
A large swathe of the north east of Perivale is affected by deficiencies in access to open space, and so providing better access to existing areas and establishing new pocket parks should be considered a priority when intensifying any neighbourhoods



For key see A1 report page 71

Ethnicity

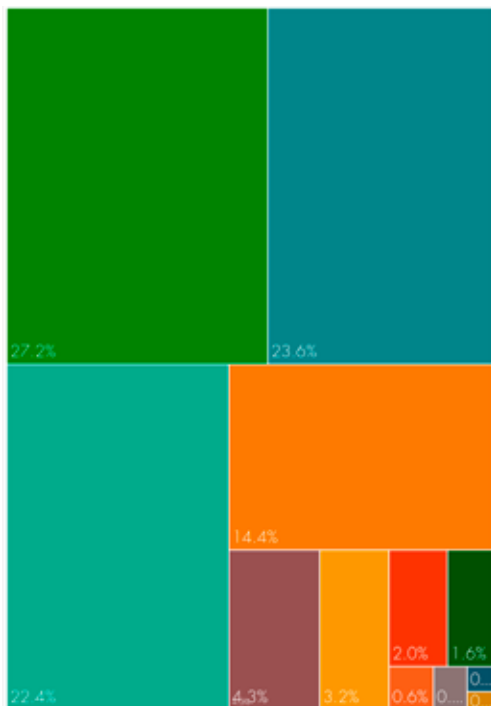
Perivale is a diverse area but with reasonably clear community patterns. The eastern part of the area has a large Asian and Asian British community the central area has a large white community and the western area is very mixed.



For key see A1 report 81

Overcrowding

Overcrowding is found in the eastern part of the area, perhaps reflecting multi-generational living in suburban terraces and semi-detached homes

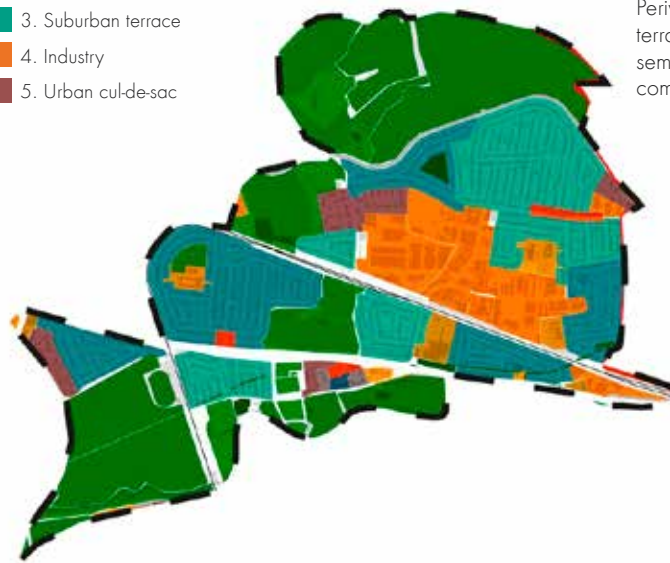


Top 5 most common typologies

1. Open space
2. Suburban semi-detached
3. Suburban terrace
4. Industry
5. Urban cul-de-sac

Typologies

Open space makes up a large proportion of Perivale, with suburban terrace and suburban semi-detached the most common typologies.



For full key see page 7



Bilton Road neighbourhood centre is the only commercial frontage in Perivale, much of it single sided along a 440 metre length



Suburban semi-detached properties are common, some of which retain a strong streetscape through privet hedges and lawns



Historic industrial fabric can be found in Perivale, with narrow, deep and compact plots accommodating historic factory buildings



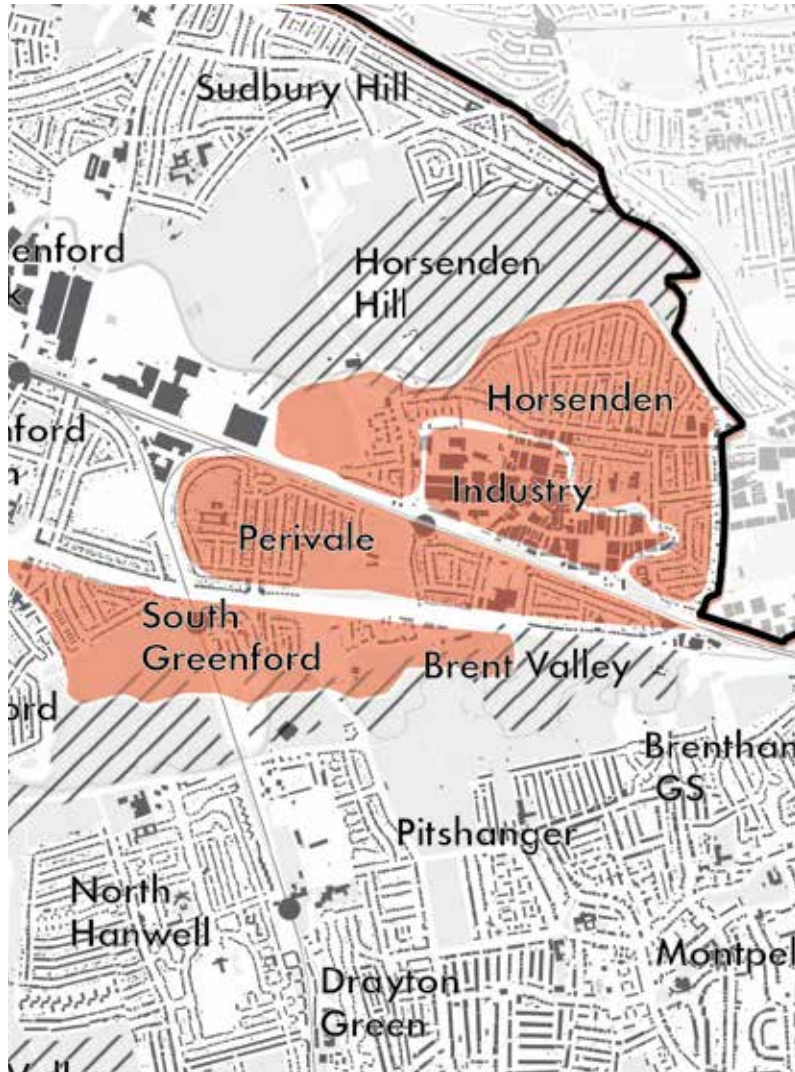
Higher residential densities can be found where mansion blocks exist, though results in streetscapes dominated by on-street parking



Suburban terrace typologies in runs of four are typical to Perivale, particularly in the north



Suburban semi-detached typologies are common, some with hipped roofs and defied porches echoing a Garden City character



Neighbourhoods in Perivale

Perivale

Close to Perivale station, sandwiched between the Central line and the A40. This neighbourhood is dominated by suburban terraces, surrounding Ealing Central Sports Ground.

South Greenford

To the south of the A40 and to the north of the River Brent, this neighbourhood includes the wonderful, white wooden clapboard Grade I St Mary's Church, Ealing Golf Club and playing fields. Given the proximity of the A40, the neighbourhood has a surprisingly rural feel, which should be maintained as far as possible.

Perivale Industry

This SIL neighbourhood has a number of large industrial sheds but also some fine grain industry which better lends itself to public facing businesses and the creation of active frontage to streets with some diversification of employment.

Horsenden

Horsenden covers the terraced and semi-detached suburban housing, with the Grand Union Canal running along the northern boundary and direct access to Horsenden Hill from the western point.

Horsenden Hill

This covers the highest point of the borough, affording long views from the top. It incorporates Horsenden Farm, Horsenden Hill Activity Centre and Sudbury Golf Course.

Character based growth themes

Green links to green infrastructure

- Improve access to and connections across green infrastructure assets such as Horsenden Hill and the Brent Valley - transforming green space into a connector, rather than a barrier.
- Maximise opportunities to deliver small, pocket and linear parks through regeneration of suburban environments, to help address the deficiency in access to publicly accessible open space over 2 hectares (Local Park).

Improve living environment along corridors

- Improve the living environment along movement corridors including the Acton - Northolt Rail line and the A40 including at-grade pedestrian crossings, street tree planting and public realm enhancements.
- Explore opportunities to densify plots along the A40, using higher density and elements of height to help define a stronger character and identity along the corridor.

Maximising potential of fine grain

- Explore ways of increasing economic density in the fine grain part of the Strategic Industrial Land - promoting the sensitive intensification of historic buildings for contemporary industries e.g. creative, digital, makerspace.
- Protect and continue the fine grain pattern and rich mix of interlocking typologies across parts of the Strategic Industrial Land should parts come forward for co-location and consolidation.

Character based growth themes

Waterside living

- Introduce mid-scale, high density wharf-style typologies that front the Grand Union Canal and echo the area's industrial character.
- Deliver in combination with strategic public realm enhancements, concentrated on unlocking barriers and making connections with existing green and community infrastructure assets e.g. Perivale Community Association.

Scale of intensification

Reinforce

- Perivale Strategic Industrial Land
- Hoover Building
- Suburban infill + densification

Repair

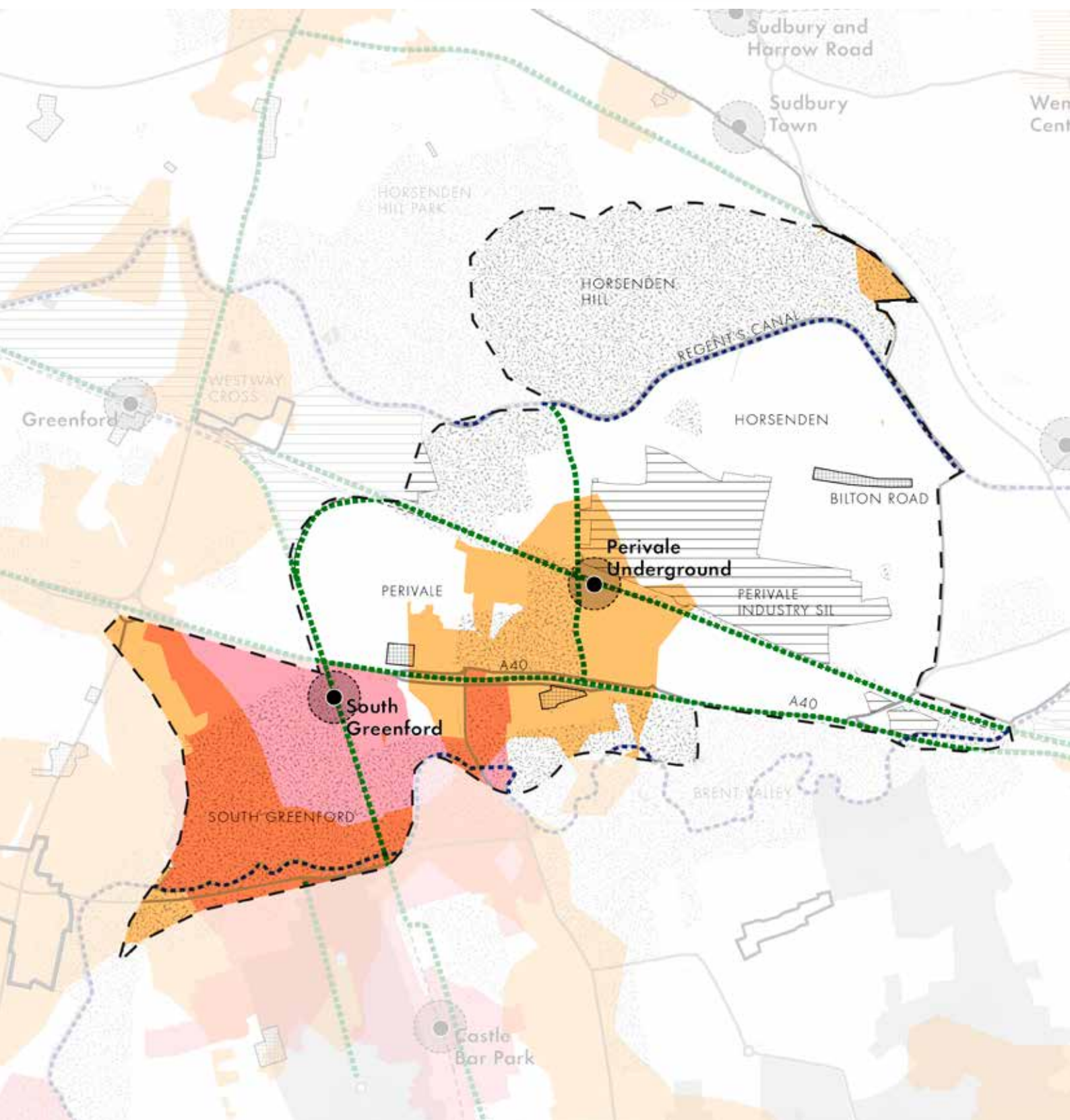
- Grand Union Canal
- Perivale Community Association
- Periwood Crescent
- Bilton Road Local Parade

Reimagine

- Perivale Underground Station
- Phoenix Trading Estate
- Brindley Close
- Tesco Superstore (Hoover Building)

KEY

- Station
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- ▤ Local Parade
- ▤ Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Perivale framework plan

Hanwell



Profile

- Hanwell developed as a coaching stop on the Uxbridge (formerly Oxford) Road, reflected in the number of coach houses, now pubs, in the town centre. Trolley buses then served the area.
- The western part of the area has a bucolic feel, with the Brent Valley and Brent Lodge Park. The Lodge was demolished in the 1930s but the stable block and grounds remain, which are now home to Hanwell Zoo and millennium maze.
- The area includes a mix of urban terraces, cottage estate, villas, suburban semi-detached homes, slab blocks, 60s townhouses and cul-de-sacs. These are low-mid scale and sit comfortably together.
- The raised land at the Cuckoo Estate is visible from the north, with Grade II Hanwell Community Centre (formerly a paupers school) widely visible.
- The area includes Trumpers Way LSIS and other undesignated industrial land along Boston Road. Parts of Trumpers Way and non-designated land have changed use to residential in recent years.



Figure ground plan

Issues and opportunities

- New development will need to respond to Hanwell's historic character, including scale and massing and materiality.
- The Uxbridge Road isolates both the hospital and Wharncliffe Drive residential areas from local centres and promotes car use. Tree planting, better crossings/pavements and possible road narrowing will improve pedestrian/cycle access to the centre.
- The entire area meets the GLA small sites criteria for access to stations/local centres, but there is a deficiency in green space access on the east side
- The tall, narrow shape of the area mean residents in the north may have greater affinity with Greenford, being closer to that local centre
- Strategic Areas for Regeneration are identified at the hospital site and in the north east corner of the Cuckoo Estate, including Copley Close
- Non-designated industrial areas may come forward for residential or mixed use development but require careful, contextual design including appearance and a rich mix of uses.



Clockwise from top left: St Mary's Church (Grade II*); recent development at the hospital site; Grand Union Canal; recent urban terraced family homes overlooking the canal.



For key see A1 report page 42

Floor Area Ratio

Hanwell's industrial areas tend to have a higher FAR than the residential neighbourhoods, but the urban terraces to the south have higher densities than the cottage estate housing further north.



For key see A1 report page 88

Centres and stations

The entirety of the Hanwell area is within the GLA search for small sites, thanks to good access to stations and/or local centres. This may be due the small size of the borough sub-area, with the station and centre located centrally.



For key see A1 report page 78

People per hectare

Whilst floor area ratios are low in residential areas, population density appears to be higher in Hanwell. Thames Court Estate and the recent development on the west side of the hospital show the highest levels.



For key see A1 report page 64

Areas of regeneration

Hanwell does not fall within any Opportunity Areas, but relative levels of deprivation in the far north, at the hospital site and to the east of the town centre identify these as areas of strategic regeneration. Any new homes should also seek to address the causes of deprivation here.



For key see A1 report page 38

Heritage

Hanwell has six conservation areas including the The Cuckoo Estate, Churchfields, Hanwell cemeteries, Clock Tower, Village Green and St Mark's Church and Canal. These cover the northern cottage estate and a large part of the town centre area linking to the River Brent. Highlights include the Grade I Wharncliffe Viaduct, Grade II Hanwell Bridge, Grade II Hospital entrance arch and Hanwell Flight of Locks - all of which are infrastructure rather than buildings.



For key see A1 report page 31

Access to open space

The western side of Hanwell has good access to the Brent Valley and homes around Cuckoo Park benefit from this. However, the eastern half of the sub-area has a deficiency in open space, which should be addressed when new development is considered.



For key see A1 report page 71

Ethnicity

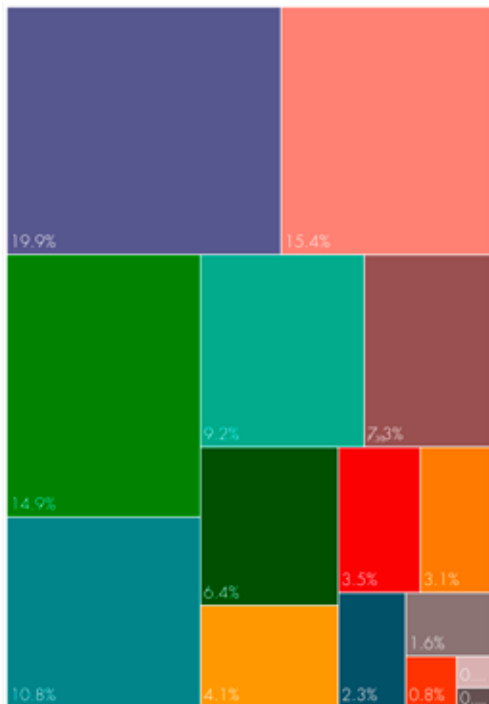
Hanwell is relatively homogenous compared to other borough areas, however, distinct pockets of diversity exist within the hospital site residential development, at Thames Court Estate and at Copley Close.



For key see A1 report 81

Overcrowding

There is very little overcrowding in Hanwell, with slightly higher levels close to the core of the town centre. Western parts of the hospital site also have moderate levels of overcrowding, perhaps reflecting recent high density development.



Typologies

The most common housing type within Hanwell is the urban terrace (20%), followed by cottage estate, covering the Cuckoo Estate and Townholme Crescent (15%) and suburban semi-detached (11%). Green and leisure space covers 21% of the area, but the location of this means that access is not good for all in the area.

There is a clear split in the area, with the southern section being more compact and urban in focus, and the northern section being more suburban. This reflects the evolution of the area, with more historic neighbourhoods to the south and more recent homes to the north.

Top 5 most common typologies

1. Urban terrace
2. Cottage estate
3. Open space
4. Suburban semi-detached
5. Suburban terrace

For full key see page 7



Urban terraces within the St Mark's Church and Canal CA



Grade I Listed Wharncliffe Viaduct, taking the Great Western line over the River Brent



Factories on the canal within the Trumplers Way Locally Significant Industrial Site (LSIS)



Ealing Hospital, within the Hanwell character areas



Mews infill development on a pocket site. Garages dominate the facades



Cottage estate maisonettes within the Churchfields conservation area



Neighbourhoods in Hanwell

Elthorne Park

Legible streets with urban terraces and cottage estate housing and slab blocks. This area includes Elthorne Park and the section of Trumpers Way industrial land (LSIS) to the east of the Grand Union Canal. New terraced housing and residential blocks have built on raised land by the river.

North Hanwell

Encompassing Cuckoo Estate CA, Cuckoo Park, Thames Court Estate and suburban terraces to the north of this. The neighbourhood sits on high land with the Hanwell Community Centre building a visible skyline marker from the north. Castle Bar station sits at the eastern edge.

Hospital

This area includes Ealing Hospital and the recent podium block perimeter blocks developed in the grounds to the west. Separate stages of development do not integrate well. The (rather isolated) residential neighbourhood and The Triangle Centre SIL sit to the north of Uxbridge Road

Churchfields

Taking in the Churchfields and Hanwell Village Green conservation areas, this neighbourhood feels very much set within parkland. Spacious villas, urban terraces, cottage estate, slab blocks and 60s townhouses are all represented in the area, which sit reasonably comfortably together

West Drayton

Legible streets of urban terraces and spacious semi-detached homes, set around Framfield allotments and schools. Large gardens at the northern tip have been subject to urban cul-de-sac infill. Adjacent land to this might present an opportunity for further infill, such as mews.

Central Hanwell

Covering the station, the core of the town centre with its mix of commercial uses and historic streets of urban terraces. This area includes the Clock Tower and Cemeteries conservation areas and undesignated industrial sites.

Trumpers Way

The Waterside Trading Centre is a self-contained areal, part of the Trumpers Way industrial land (LSIS). It is bound to the east by the River Brent and to the west by the rail line.

Character based growth themes

Unlock and integrate hospital site

- The hospital site has seen phases of high density development, but these have not been informed by a masterplan and sit separately from one another. A masterplan for any future phases, would look at internal and external connections and reconsider the nature of the Uxbridge to overcome the isolation of this area and Wharncliffe Drive, taking account of The Triangle Centre LSIS and hospital access.

Spine intensification

- Intensification has already taken place along parts of the Uxbridge road, but this haven't established frontage to the street. Further intensification to the west and withing the town centre, mindful of surrounding scale, could provide new homes and frame the street. The Lidl development may have been a missed opportunity to front the street or provide a clear pocket space with planting and seating.

Brent Valley/green space access

- The Brent Valley is a huge asset on the doorstep to Hanwell, yet, the area has deficiencies in access to open space. Continuous green links to the valley and improved signage will help address this.
- Investment in existing spaces can also play a role - encouraging use of the cemeteries as contemplative spaces and/or enhancing 'left over' green spaces with play equipment and benches in the cottage estate areas.

Estate regeneration

- Buildings at Thames Court Estate and in Copley Close are in a relatively poor state of repair and would benefit from investment and/or replacement. They currently have high ppha levels without overcrowding and this should be retained in any review of the estates.

Character based growth themes

Careful Cottage Estate/low density infill

- Cottage Estate areas may have 'left over' space for corner plot or garage block development. This has been done well at the Becontree Estate in Dagenham. Similar opportunities might also exist such as at Elmwood Gardens, where an urban cul-de-sac has already been introduced.

Careful industrial space hybridisation

- Hanwell is one of the few areas with non-designated industrial space. Review of this could present opportunities for intensification, though this would need to balance use and local character considerations to inform an appropriate response to site context e.g. scale and massing.

Scale of intensification

Reinforce

- Churchfields CA
- Hanwell Village Green CA
- Clock Tower CA
- Cemeteries CA
- St Mark's Church and Canal CA

Repair

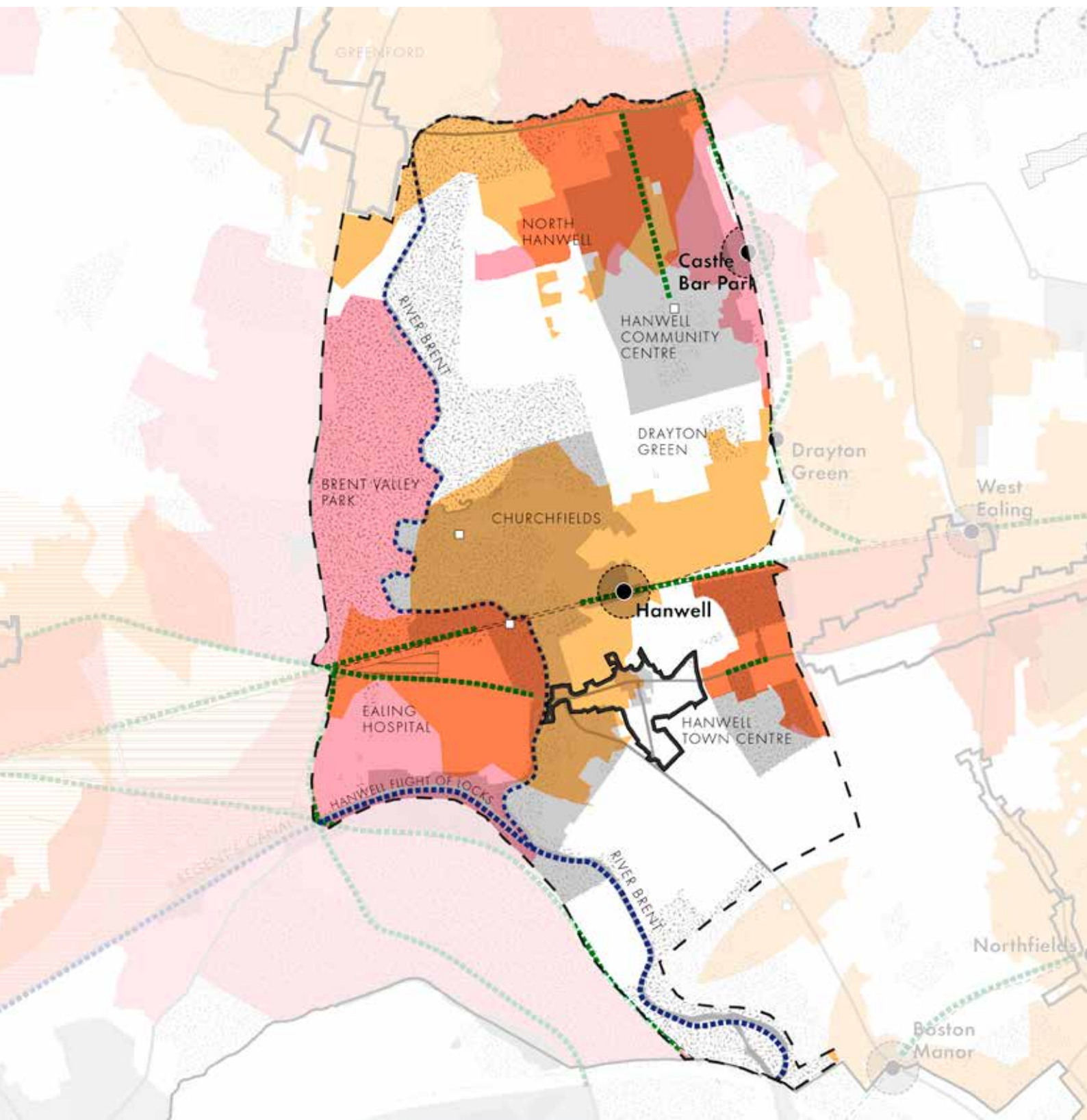
- West Drayton area
- Cuckoo Estate CA
- Hanwell town centre
- Elthorne Park area

Reimagine

- Hospital site (in process already)
- Thames Court Estate
- Copley Close area

KEY

- Station
- Landmark
- Railway line
- - - Sub-area boundary
- ░ Open space
- ▨ Green Belt
- Conservation Area
- ⊙ Station intensification
- Town Centre or Neighbourhood Centre
- ▤ Local Parade
- ▥ Strategic Industrial Location
- ▧ Opportunity Area
- ▨ Strategic Area for Regeneration (SAR)
- ▩ Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- ⊙ Strategic Regeneration Priority



Hanwell framework plan

Southall



Profile

- Southall has a complex urban structure with a number of typologies present that reflect periods of development and growth, from the historic settlements of Southall and Southall Green; to the mass inter-war suburban and industrial expansion.
- The area is characterised by Southall town centre in the south - a major centre spine road that traverses the Great Western Rail Line that severs Southall in two.
- Clusters of Strategic Industrial Land and Locally Significant Industrial Sites run contiguous with the rail line and Grand Union Canal, products of cheap land values and good connectivity.
- Heritage assets tend to be clustered at historic settlements of Southall and Southall Green - both Areas of Archaeological Interest.
- Norwood Green Conservation Area in the south represents a village-like character, juxtaposing with the intensely urban character of Southall centre and the suburban character in the north.



Figure ground plan

Figure ground showing clearly the coarse grain of the industrial areas; the rectilinear urban perimeter blocks in the west; and the curvilinear suburban blocks in the north.

Issues and opportunities

- Connections to the Brent Valley are poor and could be enhanced with green links and pocket parks, helping to overcome large parts of Southall deficient in access to open space (London Plan (2021) Policy G4).
- Norwood Green Conservation Area is listed as Heritage at Risk and in 'very bad' condition.
- High Asian and Asian British population, known locally as Little India. Inter-generational living is an asset, with urban terraces and deep plots working hard to accommodate annexes.
- The most overcrowded area in Ealing borough, with large areas demonstrating a need for 2 or more bedrooms.
- Southall Opportunity Area and the arrival of the Elizabeth Line provides a clear rationale for densification and large scale regeneration, already being seen at Southall Green Quarter.
- Successful phased estate regeneration of Dormers Wells with rich typological mix coming forward.



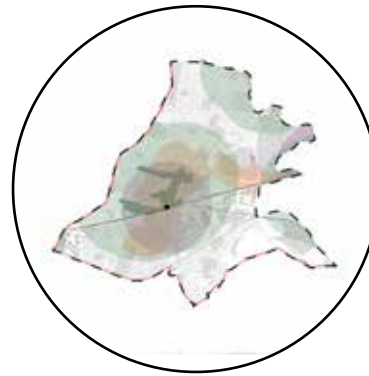
Clockwise from top left: Grand Union Canal running along the south of Southall; a terrace of town houses delivered through regeneration of the Havelock Estate; typical suburban terrace typology common to the northern area; Edwardian parade at Southall town centre



For key see A1 report page 42

Floor Area Ratio

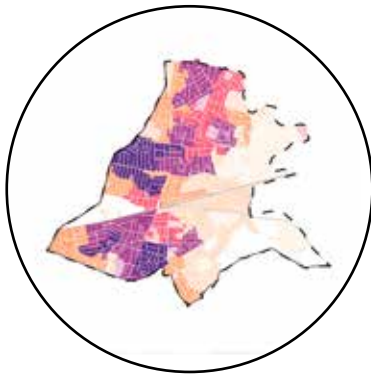
Southall's industrial area's stand out as having the highest FAR. However, urban terraces close to the town centre, which have seen outbuildings added, also show reasonably high FAR,



For key see A1 report page 88

Centres and stations

Given the size of Southall town centre and the arrival of the Elizabeth Line, Southall does not meet the GLA small sites criteria as well as other parts of the borough. Importantly, recent large developments south of the town centre and at Southall Green Quarter do meet at least one of the criteria.



For key see A1 report page 78

People per hectare

There is a very high ppha reading within the urban and suburban terraced housing to the north west of Southall town centre, and to the south of the centre in the Norwood Green area - this is surprising given the spacious layout of the this area.



For key see A1 report page 64

Areas of intensification

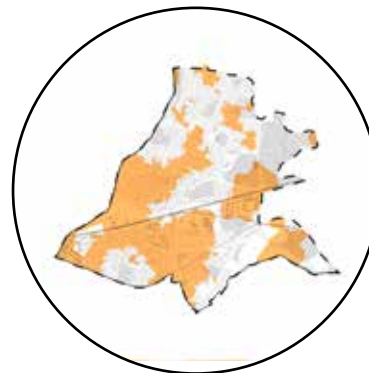
Much of Southall (particularly the west side) is identified in the London Plan (2021) as an Opportunity Area, responding to the arrival of the Elizabeth Line. The eastern area, including the Brent Valley and Dormers Wells is identified as an area for strategic regeneration, being in the 20% most deprived LSOAs in the country for IMD.



For key see A1 report page 38

Heritage

Southall is covered by two conservation area, at Norwood Green (Heritage at Risk) and at the south west stretch of the Grand Union Canal, where the two branches of the canal meet. Listed buildings are clustered in the south of the area and include Grade II* Liberty Cinema buildings, Church of St Mary Southall Manor House and former Free School; and Grade II Plough pub, Friars Lawn overlooking Norwood Green and the Water Tower.



For key see A1 report page 31

Access to open space

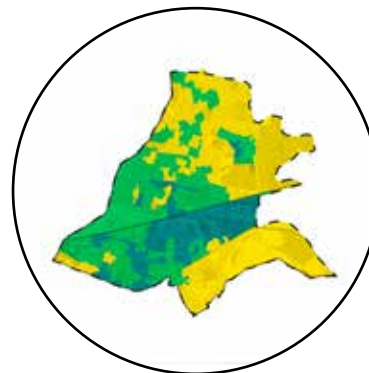
Neighbourhoods to the west and south of Ealing town centre show a deficiency in access to open space, as do small pockets of residential neighbourhoods to the north. This should be taken into account when planning new homes. New space introduced at Southall Green Quarter may go some way to address this



For key see A1 report page 71

Ethnicity

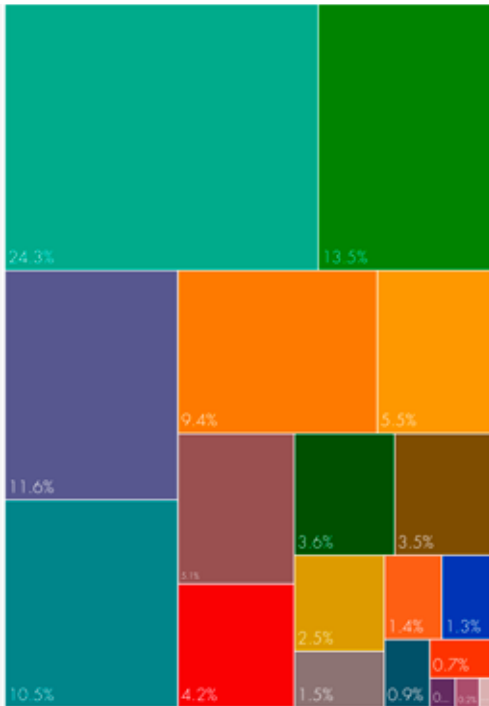
Southall is sometimes referred to as 'Little India' and this is reflected in the predominance of Asian and Asian British communities. However, the area does also have Black/African/Caribbean/Black British communities in Dormers Wells and south of the town centre.



For key see A1 report 81

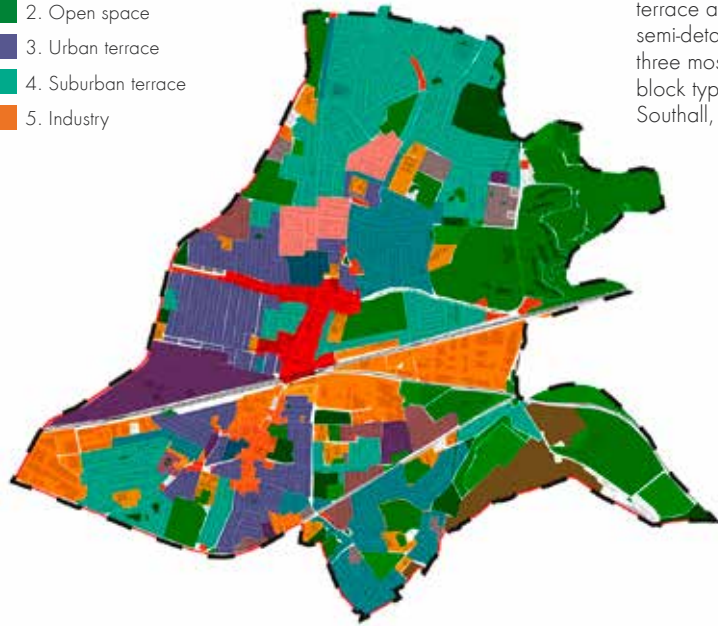
Overcrowding

There are significant levels of overcrowding in the terraced streets to the north and west of the town centre and the area to the south of the town centre in general. Areas of overcrowding include areas of industry, which may be an anomaly in the data.



Top 5 most common typologies

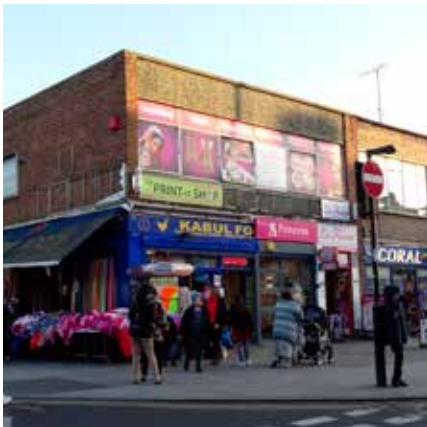
1. Suburban semi-detached
2. Open space
3. Urban terrace
4. Suburban terrace
5. Industry



Typologies

Suburban terrace, urban terrace and suburban semi-detached are the three most common block typologies found in Southall, respectively.

For full key see page 7



Southall town centre is home to a number of one and two storey parades that could see vertical extensions



Recent wharf-style town houses set close to the Grand Union Canal in the south



A pair of grand urban villas stand proudly opposite Norwood Green Park



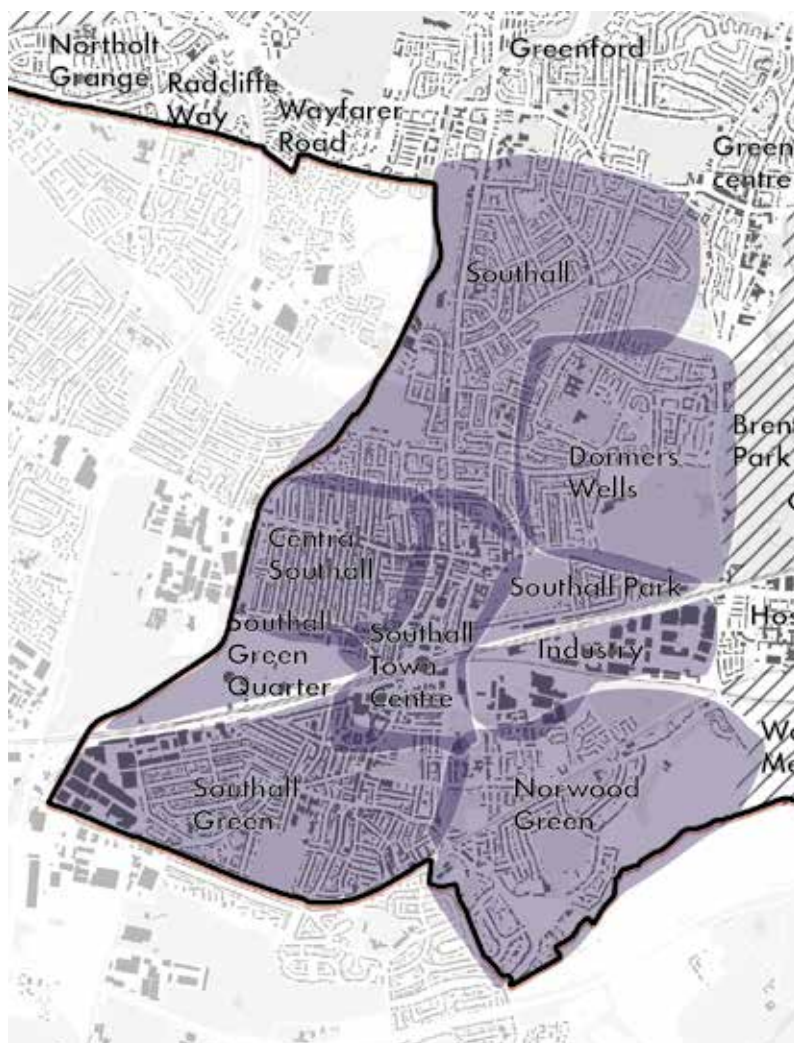
Recent development at Southall Green Quarter has seen the introduction of high density, mid-scale perimeter blocks



The Kings Hall in Southall town centre is a grand building and important heritage asset that is currently derelict



Phased estate regeneration at Dormers Wells has seen the introduction of terraced town houses on previously 'left over' lawn space



Neighbourhoods in Southall

Southall

This covers a large area of uniform, two-storey suburban terraced housing, with small areas of cottage estates housing. Lady Margaret Road runs north-south through this area, with a parade of shops at the northern end. This area may benefit from greater variation of type to improve legibility.

Central Southall

This incorporates the older, urban terraced housing to the west of the town centre, much of which has already seen intensification through the addition of outbuildings.

Southall Town Centre

The area's commercial heart, with two high streets meeting at a central crossroads. There are a large number of independent shops selling Asian groceries and fabrics. This includes historic buildings such as the Liberty Cinema and the Water Tower.

Dormers Wells

A housing estate to the north east of the town centre, close to the Brent Valley but will access blocked to a certain degree by West Middlesex Golf Club. Recent regeneration has seen slab blocks replaced by town houses which are well designed but at points have limited shared amenity space.

Southall Park

Taking in Southall Park and the semi-detached suburban housing to the east of this. The area is bound by the GWR rail line to the south and the Uxbridge Road to the north and would benefit from better links to the north and to the Brent Valley.

Great Western Industry

SIL industrial area surrounded by the GWR rail line to the north, a freight line to the south and urban cul-de-sac housing on the western part of the Ealing Hospital site to the east. This eastern edge to the SIL is particularly important in terms of mediating between the two uses.

Southall Green Quarter

Former gas works site redeveloped with perimeter block development stepping up in scale from surrounding 2.5 storeys to 5-7 storeys. Set on landscaped streets, with new public space fronting the Grand Union Canal. This has increased density successfully, without overpowering neighbouring streets and with landscape investment.

Southall Green

South west of the town centre, this is a mixed area, with commercial spine running through the centre and a historic street pattern. It also incorporates the International Trading Estate LSIS. Dense tree planting along the eastern perimeter of this limits the negative impact on adjacent homes.

Norwood Green

An historic neighbourhood with a number of Listed building and a conservation area, centred around triangular Green itself. In this area, new development should sensitively respond to the existing character. The area also includes the Havelock Estate, which has seen slab blocks and cottage estate homes replaced with town houses and low scale perimeter blocks.

Character based growth themes

Parade intensification

- Intensify centres by consolidating frontage along parades with vertical extensions on one and two storeys. Create consistent datum with residential above ground floor commercial use.
- Examples could include Southall town centre; King Street neighbourhood centre and Allenby Road local parade.

Restoration and re-use of historic buildings

- Find appropriate uses for derelict historic buildings, bringing them back into active use including residential conversion.
- Civic, cultural and community uses can be appropriate for prominent buildings in central locations e.g. The Kings Hall, Southall town centre.

Adaptable multi-generational living

- Explore opportunities for new typologies that accommodate multi-generational living, catering for the needs of the strong Asian and British Asian communities in Southall.
- Maximising the opportunity of deep urban terrace plots including rear extensions and mews infill development.

Waterside living

- Introduce waterside living including mid-scale, high density typologies that front the Grand Union Canal and contribute to its setting.
- Deliver housing in coordination with public realm and ecological improvements along tow paths for active travel and wildlife corridors.

Character based growth themes

Connections to green infrastructure

- Unlock connections and improve pedestrian and cycle access to green infrastructure assets such as the Brent Valley and Grand Union Canal.

Legibility through densification

- Seek opportunities to improve legibility in predominantly suburban environments, using sensitive stepping up in density and scale to create a more distinctive urban environment.
- Examples could include terminating vistas at the end of long views associated with the suburban terrace street pattern in the north.

Scale of intensification

Reinforce

- Urban terrace densification
- Suburban densification
- Cottage estate densification

Repair

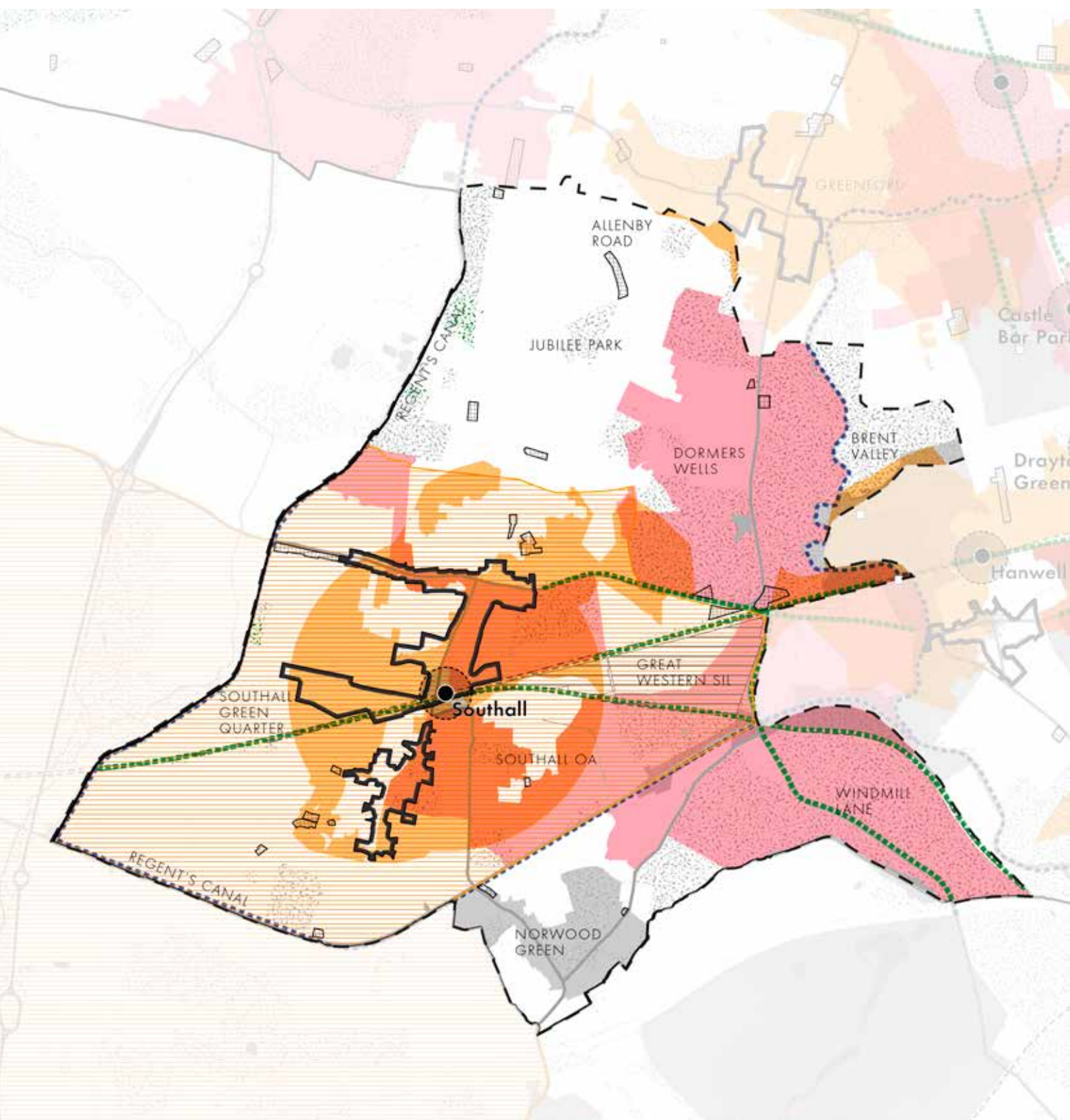
- Norwood Green CA
- Grand Union Canal
- South Road, Southall Town Centre
- King Street Neighbourhood Centre

Reimagine

- Southall Green Quarter
- Southall Station
- Golf Links Estate
- Kingsbridge Crescent / Cranleigh Gardens Industrial Estate

KEY

- Station
- Landmark
- Railway line
- - - Sub-area boundary
- Open space
- Green Belt
- Conservation Area
- Station intensification
- Town Centre or Neighbourhood Centre
- Local Parade
- Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Southall framework plan

Greenford



Profile

- Greenford is characterised by a prevailing suburban character, with suburban semi-detached and suburban terraces comprising over half its typological mix.
- Greenford is an amorphous part of the borough, transected by major infrastructure including the A40, Acton - Northolt line and the Grand Union Canal. This effectively splits Greenford into three principal areas.
- Greenford town centre and Greenford Green are the historic settlements that saw great inter-war expansion due to railway and road construction.
- Swathes of Strategic Industrial Land occupy land either side of the rail line and canal, born out of the access and distribution of goods they provided.
- The late 20th century development saw the development of a number of low density slab and urban cul-de-sac estates, creating pockets of impermeable and illegible fabric.



Figure ground plan

Issues and opportunities

- Greenford Green and northern areas have a stronger relationship to centres in neighbouring boroughs including Wembley and Harrow.
- Large parts are deficient in access to publicly accessible open space over 2 hectares in size (Local Park) placing emphasis on the importance of improved pedestrian connectivity small, pocket and linear parks and green spaces.
- Poor air quality and noise pollution along A40 and rail line corridors creates a poor quality living environment for nearby residents.
- Large areas are far from Greenford town centre, providing opportunity to densify and enhance the offer of local parades including Greenford Green and Greenford Station.
- Long term opportunity to densify urban cul-de-sacs and create a better connected street network.
- Regeneration of industrial land at Greenford Quay will bring forward critical mass to support new mixed use destination and enhance access to the Grand Union Canal.



Clockwise from top left: Greenford Station served by National Rail and London Underground; suburban terrace typology is common in the north; Grenan Square, Greenford Quay opening onto the Grand Union Canal; William Perkin CoE School.



For key see A1 report page 42

Floor Area Ratio

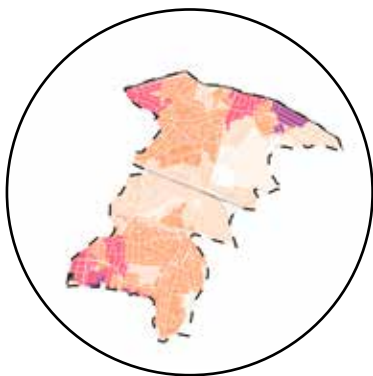
Greenford generally has very low FARs, though the central industrial area can be read through the centre of the area. The highest levels are found in the Greenford Quay area and the sheds to the south of this.



For key see A1 report page 88

Centres and stations

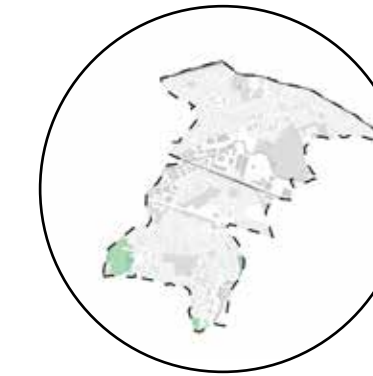
Much of Greenford meets at least one of the GLA small sites criteria, though there is more limited overlapping of these, given the separation of Greenford's town centre and transport links.



For key see A1 report page 78

People per hectare

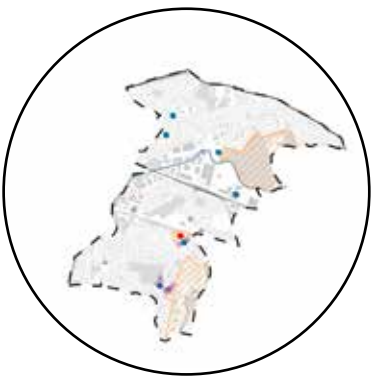
Highest population densities are found in the far south west corner (at the northern tip of Lady Margaret Road) and in the far north, covering the suburban terraces, and blocks and townhouses at Goshawk Court, Close to Sudbury.



For key see A1 report page 64

Areas of regeneration

Greenford does not fall within an Opportunity Area and has only a very small area of strategic regeneration (top 20% most deprived LSOAs for IMD), found in the far south west corner at northern tip of Lady Margaret Road. This area has seen recent development of a perimeter block and town houses.



For key see A1 report page 38

Heritage

Greenford is not covered by any conservation area, but has a number of Listed buildings, including: Grade I old Church of the Holy Cross; and Grade 1 new Church of the Holy Cross, Betham House and Greenwood Public House. There are also Grade II Listed office buildings including the former IBM distribution centre and former Glaxo Headquarters.



For key see A1 report page 31

Access to open space

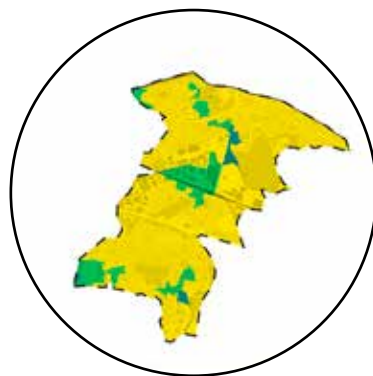
Greenford has a deficiency in access to open space in the north western area, covering the industrial area and Greenwood area to the north of this.



For key see A1 report page 71

Ethnicity

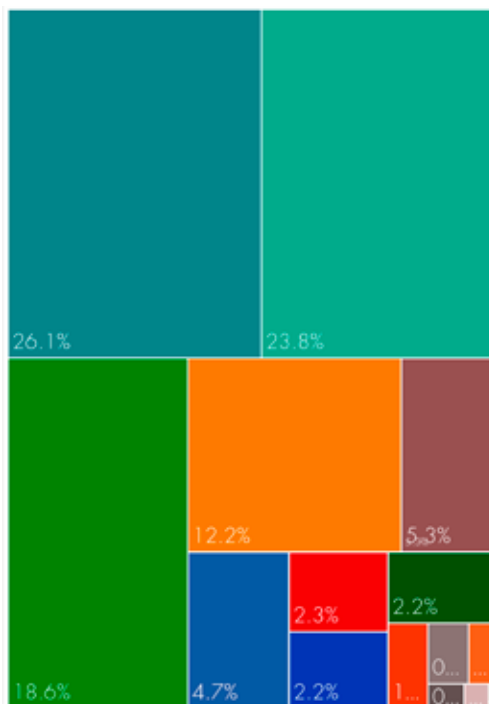
Greenford is a diverse area with a particularly strong Asian and Asian British communities in the Sudbury area and in south west, close to Lady Margaret Road.



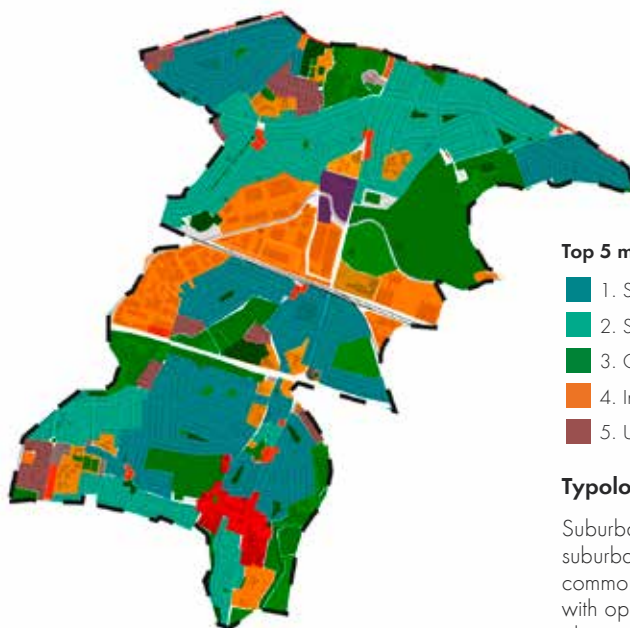
For key see A1 report 81

Overcrowding

Greenford has very little overcrowding. However, moderate levels are found around Lady Margaret Road and over Greenford Park industrial estate.



For full key see page 7



Top 5 most common typologies

- 1. Suburban semi-detached
- 2. Suburban terrace
- 3. Open space
- 4. Industrial
- 5. Urban cul-de-sac

Typologies

Suburban semi-detached and suburban terrace are the most common block typologies, with open space and industry also prevalent.



The former Glaxo Factory has a strong Art Deco design and is being incorporated into the Greenford Quay regeneration



Suburban terrace homes are common across Greenford, particularly in the north



Contemporary town houses at Goshawk Court, developed on a former garage site fronting Ridding Lane Park



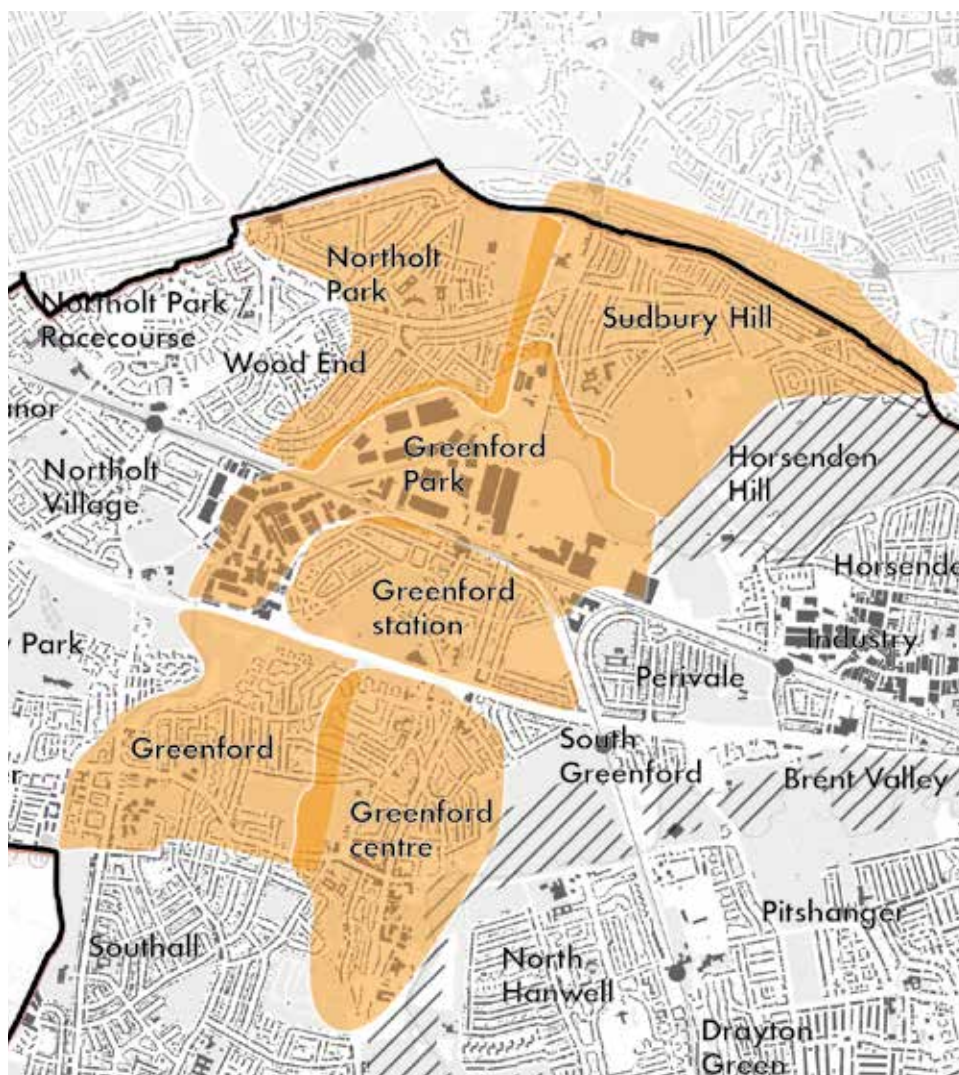
View south from Sudbury Hill towards tall buildings at Greenford Quay



High density perimeter block at Greenford Quay, with commercial units at ground floor



The suburban semi-detached typology is the most common to Greenford, typical of the inter-war expansion of the borough



Neighbourhoods in Greenford

Greenford Station

This covers the Central line station and the residential area to the south of this, between the rail line and A40. The area is dominated by deep blocks of suburban terrace housing, some with allotments within the blocks and a few urban cul-de-sac infill neighbourhoods. The area has a good proportion of open space but much of this is not publicly accessible.

Greenford Centre

Greenford's commercial heart, focused on the The Broadway and Greenford Road, surrounded by suburban terrace housing, with some small scale industrial space and the edge of the Brent Valley. The centre has been intensified recently, which is appropriate in principle, if done sensitively.

Greenford

Taking in suburban terraced and semi-detached homes and pockets of cottage estate maisonettes and urban cul-de-sacs. The Grand Union Canal runs along the western edge and could be given greater prominence and access.

Greenford Park

The SIL employment area, with the Grand Union Canal running through the centre. Pockets of this area are being intensified and residential introduced, such as at Greenford Quay. The role of the Canal and access to this should be promoted, with intensification that does not compromise work space.

Sudbury Hill

The far north of the borough, which looks towards Harrow. Terraced suburban housing and more recent blocks and town houses sit on raised land between Horsenden Hill and Harrow on the Hill. The area is well served by transport links, with three stations close by.

Northolt Park / Greenwood

Stretching between Sudbury Hill and Northolt Park stations, incorporating wide streets of suburban terrace and semi-detached housing in the Greenwood area, some more recent cul-de-sacs. The area includes the valued Grove Farm natural open space.

Character based growth themes

Waterside living

- Introduce mid-scale, high density wharf-style typologies that front the Grand Union Canal and echo the area's industrial character.
- Employment led Intensification along the canal can support businesses, create jobs, provide supporting uses and improve the pedestrian experience.

Softening edges

- New development with a gradual transition in scale between industrial areas / major road infrastructure and residential areas can create a more legible urban environment.
- Public realm enhancements can create a more positive edge condition and enhanced pedestrian experience between different areas.

Improving the corridor environments

- Improve living environment beside major road and rail infrastructure, using tree planting and other measures to enhance air quality and noise pollution.
- Step up density along corridors, with opportunities for taller buildings and mixed uses to contribute to a more distinctive character.

Legibility through densification

- Seek opportunities to improve legibility in predominantly suburban environments, using sensitive stepping up in density and scale to create a more distinctive urban environment.
- Examples could include densifying local parades to create a stronger sense of gravity, improve legibility and define more distinct neighbourhoods and usage patterns.

Scale of intensification

Reinforce

- Greenford Road Local Parade
- Suburban densification

Repair

- Greenford Town Centre
- Frensham Close / Coraline Close
- Adrienne Avenue Industrial Estate
- Grand Union Canal
- Pett's Hill petrol station

Reimagine

- Greenford Station
- Greenford Roundabout environs
- Greenford Quay
- Westway Cross

Character based growth themes

• Westway Cross town centre

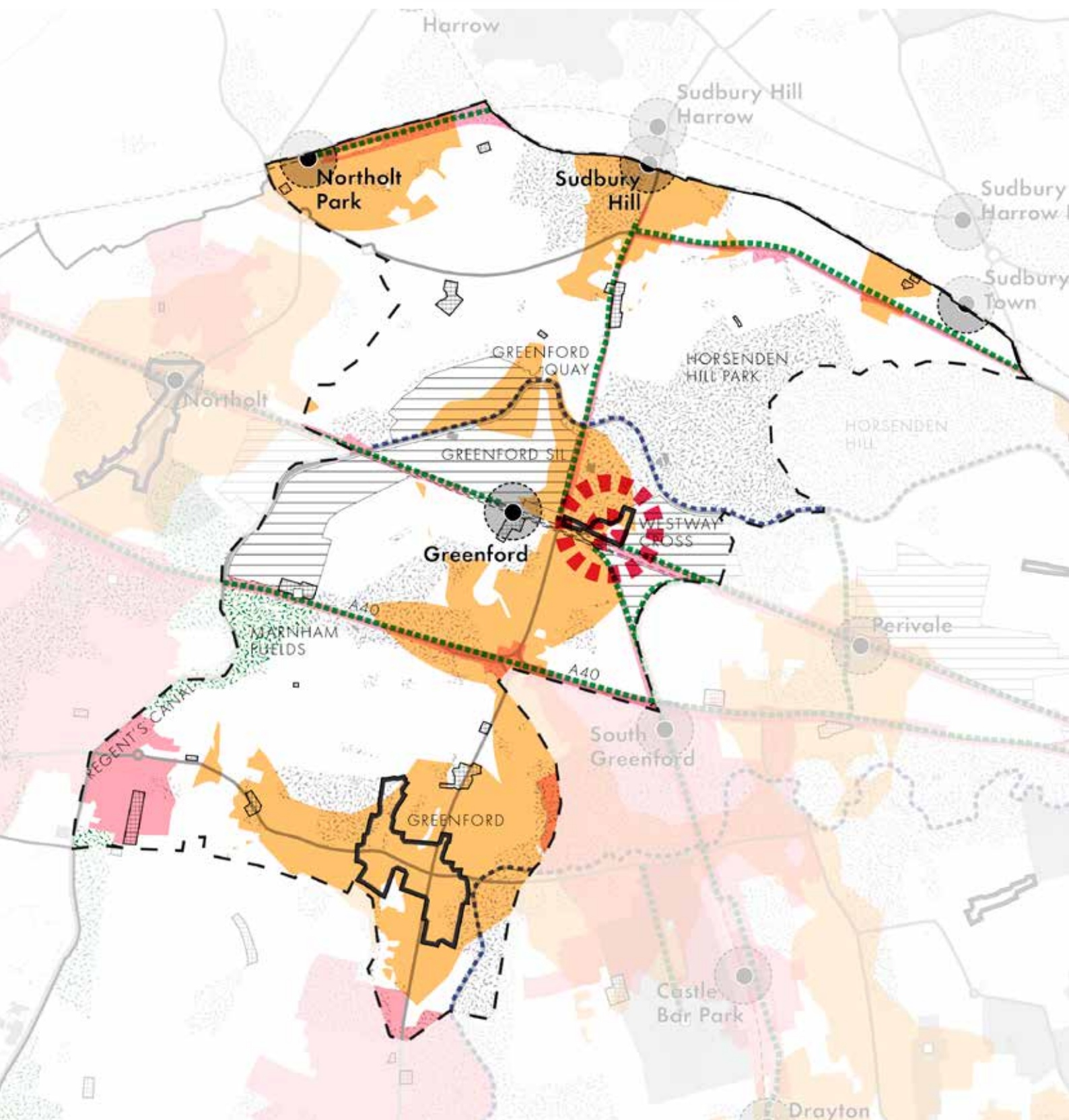
Designate Westway Cross as a town centre, redeveloping big box buildings and surface car park into a coherent and legible high density urban environment.

- Priorities include improving pedestrian connections to Greenford Station and a strong relationship to Grand Union Canal.

KEY

- Station
- Landmark
- Railway line
- - Sub-area boundary
- Open space
- Green Belt
- Conservation Area
- Station intensification
- Town Centre or Neighbourhood Centre

- Local Parade
- Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Greenford framework plan

Northolt



Profile

- Northolt is an extensively suburban part of the borough, characterised by a limited range of low density housing, poorly connected street layouts and large areas of underused open space.
- This reflects the eras of development that populated Northolt; with inter-war suburban semi-detached and suburban terraced; post-war free form slab and tower estates; and late 20th century urban cul-de-sacs the most common block typologies.
- Spatially distinct neighbourhoods are severed by major road and rail infrastructure, whilst the nature of introverted and poorly connected speculative suburban development creates a strong sense of isolation and little distinctiveness in the built form.
- Northolt town centre is historic and has a strong village-like structure in-tact at its core, with a historic parade of shops fronting a triangular village green.
- Northala Fields provides a high quality and popular open green space with long views towards Harrow on the Hill and central London.

In 2021, Ealing Council launched the Visions for Northolt programme to establish a locally-led vision for the future of Northolt. Due to be completed in late 2021, this vision will underpin a comprehensive approach to enhancement, investment and growth in Northolt.



Figure ground plan

Issues and opportunities

- Characterised by low density free form blocks that can be difficult to densify due to their weak and poorly defined urban structure and layout.
- Parts are deficient in access to publicly accessible open space over 2 hectares in size (Local Park), with the south west corner suffering acutely.
- Northolt Village Green Conservation Area has a strong village character and is home to the ancient moated Northolt Manor - a valuable heritage asset.
- Major road and rail infrastructure severs and isolates communities, with the nexus of many neighbourhoods disrupted by large road junctions.
- Low PTAL score and poor walking and cycling connectivity between neighbourhoods and centres exacerbates car-dependency.
- Strategic Areas for Regeneration can set an ambitious regeneration agenda for improving the living environment in Northolt.
- Lacks a town centre that serves the whole area. Residents look to Greenford, Hillingdon and Uxbridge as their centres. There is an opportunity to explore enhanced commercial centre functions around Northolt Station and White Hart Roundabout.



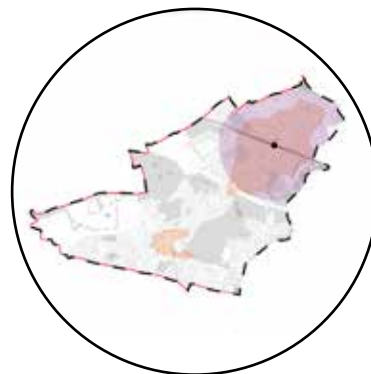
Clockwise from top left: Northolt Village Green and clock tower; Northala Fields; urban cul-de-sac block typical to Northolt; parade of shops in Northolt town centre



For key see A1 report page 42

Floor Area Ratio

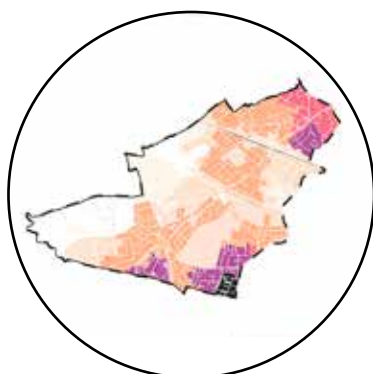
Northolt has low densities in terms of floor area ratios, other than the area of strategic industrial land (SIL) next to the Grand Union Canal.



For key see A1 report page 88

Centres and stations

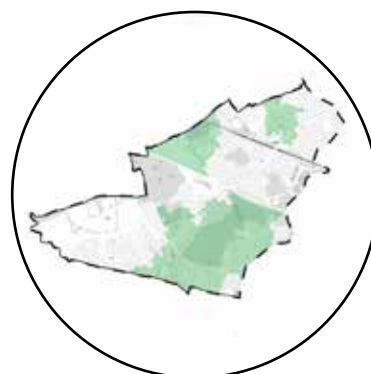
Only the northern portion of Northolt meets the criteria for GLA small sites, being close to Northolt station. Significant investment is needed in both public transport, town centre facilities and services to support existing residents and new residential development.



For key see A1 report page 78

People per hectare

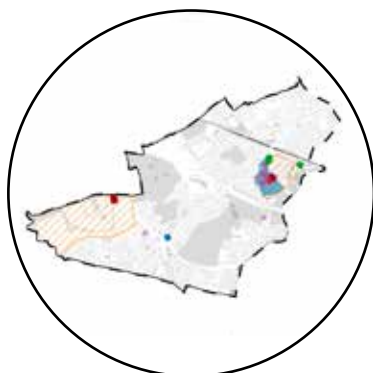
Northolt has moderate population densities, with pockets of greater density at the blocks and terraces of Taywood Road and Rectory Park (south east) and at Wood End in the north east.



For key see A1 report page 64

Areas of regeneration

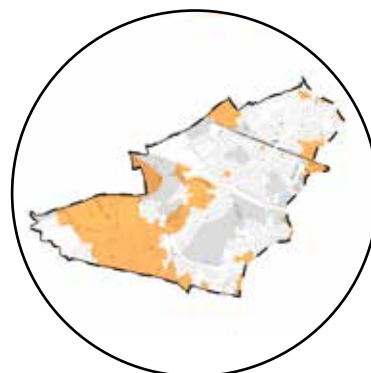
A good portion of Northolt is considered areas of strategic regeneration (top 20% most deprived LSOAs by IMD). The south eastern areas of Rectory Park and Wayfarers Road should be a particular focus for investment.



For key see A1 report page 38

Heritage

Northolt Village is covered by a conservation area and has a cluster of locally and statutorily listed buildings, including Grade I St Mary's Church and the scheduled moated site of former Northolt Manor. The White Hart public house at West End is Grade II Listed and a scheduled moated site is found at Sharvel Lane. The limited heritage in this area means that listed buildings and sites that do remain should be treated highly sensitively.



For key see A1 report page 31

Access to open space

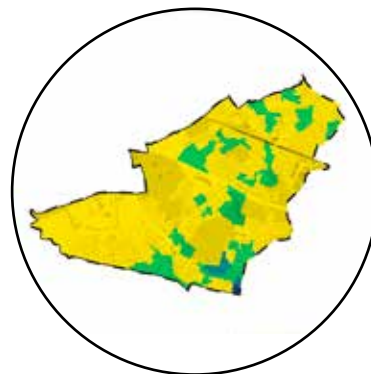
Despite there being a number of local parks and recreation grounds and Green Belt land being close by, the south western portion of Northolt has a deficiency in access to open space. A good portion of green belt land is privately owned and not accessible.



For key see A1 report page 71

Ethnicity

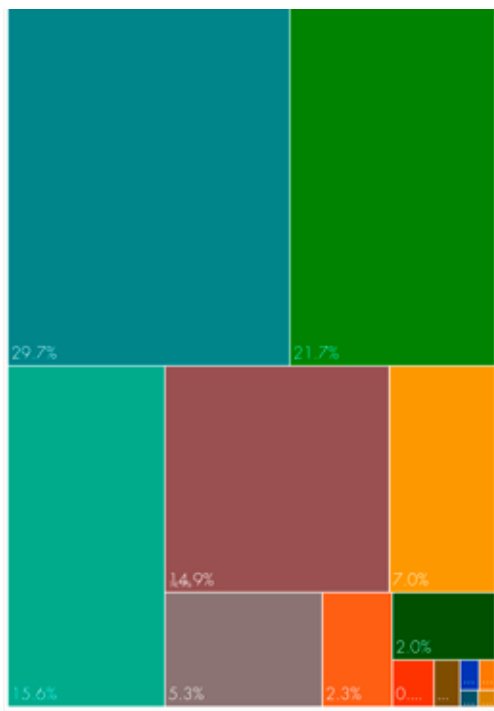
Northolt has a rich diversity across the area, with each neighbourhood being diverse. However, clustered Asian and Asian British communities are found in Wood End in the north and Black/African/Caribbean/Black British communities are found in Wayfarer Road and West End neighbourhoods.



For key see A1 report 81

Overcrowding

Northolt does not generally have overcrowding. However, pockets do exist across the area and the Taywood Road neighbourhood in the far south east shows significant levels of overcrowding. This site could be considered been over-developed.



Top 5 most common typologies

- 1. Suburban semi-detached
- 2. Open space
- 3. Suburban terrace
- 4. Urban cul-de-sac
- 5. Institution



Typologies

Northolt is characterised by low density, suburban typologies. It has the greatest concentration of urban cul-de-sac blocks in the borough.

For full key see page 7



Northolt Village has a historic parade with strong group value in need of investment



Urban cul-de-sac blocks are common to Northolt, with parking courts and lack of frontage common features



Medlar Farm Estate is home to a number of post-war slabs set out in a radial pattern within an under-used green landscape



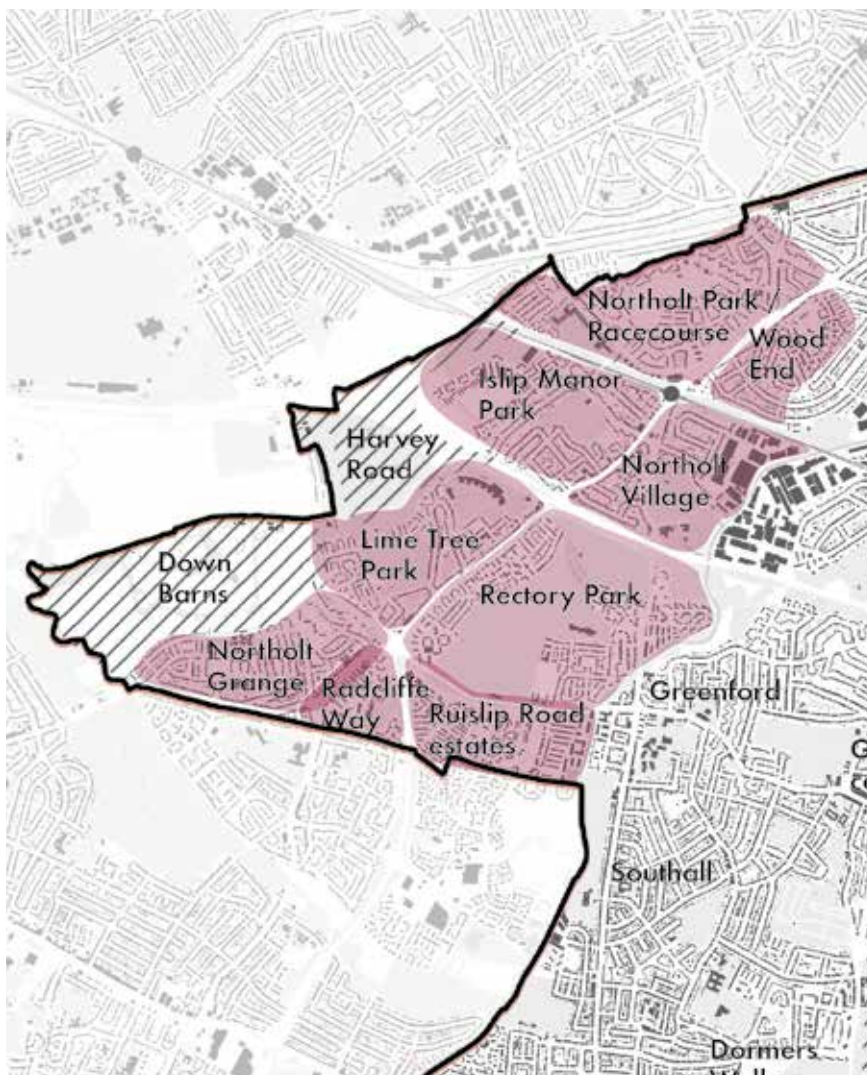
Urban cul-de-sac blocks often lack distinctiveness, with a monotony of irregular stacking and massing



High density, mid-rise development forming part of the Rectory Park Estate regeneration



Low density detached properties converted into commercial use on Mandeville Road



Neighbourhoods in Northolt

In 2021, Ealing Council launched the Visions for Northolt programme to establish a locally-led vision for the future of Northolt. Due to be completed in Summer 2021, this vision will underpin a comprehensive approach to enhancement, investment and growth in Northolt.

Harvey Road

Green belt land covering the West London Family Golf course and an isolated residential street at Harvey Road.

Down Barns

Green belt land covering Sharvel Lane and the farmland, clay club and West London Shooting School to the south of this.

Northolt Village

The historic core of Northolt, with Grade I Listed St Mary's Church, former Northolt Manor, Belvue Park to the east of this and a rural character to Ealing Road, running through the village. The Crown pub sits centrally within the village but is not listed.

Islip Manor Park

To the west of Northolt station and the shops on Mandeville Road, this neighbourhood is by suburban semis close to the main road and rather isolated urban cul-de-sacs to the west of this. The area is well served by open space, with Islip Manor Park and accessible green belt land.

Ruislip Road estates

Sat between The Parkway and the Grand Union Canal, largely comprising urban cul-de-sacs and slab blocks, with the high density Taywood Road at the eastern end. Rectory Park is accessible to the immediate north.

Northolt Park / Racecourse

To the north of Northolt station and centred around Northolt Park, this neighbourhood has suburban terraces and semis, urban cul-de-sacs and slab blocks set in open space. Northolt Park station at the north provides a connection with LB Harrow, including Alexandra Park.

Lime Tree Park

To the west of Church Road, this neighbourhood has semi-detached suburban homes, urban cul-de-sacs and a large amount of open space at Lime Tree Park and the sports fields of Alec Reed Academy.

Radcliffe Way

Between the The Parkway to the east and Yeading Lane to the west and stretching down from West End roundabout. This area comprises low density urban cul-de-sacs which are rather isolated from the surrounding areas.

Wood End

Suburban terraces and urban cul-de-sacs sat to the east of Mandeville Road. Wood End wireless station and open space sits centrally within the area.

Rectory Park

A series of self contained neighbourhoods with suburban terraces, urban cul-de-sacs and slab blocks based around Northala Fields, Rectory Park and Northolt Golf Course. The Grand Union Canal runs along the western edge, around Smith's Farm Estate. Recent redevelopment has intensified the south eastern corner.

Northolt Grange

This area to the west of West End roundabout has legible streets of semi-detached suburban housing. Good walking links connect to Michael Frost Park and Yeading Brook in green belt land (within LB Hillingdon).

Character based growth themes

Green infrastructure ring

- Enhance the setting of green spaces and green connections between them, creating a more legible structure for Northolt that is easy to navigate as a loop or individually.
- Existing green infrastructure can be a focus for new community and leisure infrastructure, whilst new pocket, small and linear parks can help address deficiency in access to publicly accessible open space.

Town centre frontage and density

- Maximise opportunity presented by proximity to Northolt station by densifying the town centre, focusing on high density, mid-rise and mixed use development with strong frontage.
- Consolidate commercial offer of local parades at the White Hart roundabout, designating a new town centre and commercial frontage around the roundabout.
- A mix of uses, connected public realm network, increased densities and elements of height will enhance the legibility and hierarchy of place.

Spine route intensification

- Northolt has three spines of green, blue and grey infrastructure that provide opportunity for intensification through residential density, greater mix of uses and activation of open spaces with community infrastructure.
- A312 Church Road/Mandeville Road should be a focus for more compact, higher density development that creates a strong sense of place and connection between town centres.

Character based growth themes

- Canal living along the Grand Union Canal can accommodate a mix of uses, whilst higher residential densities can create a more positive edge condition with Downs Barn and Harvey Road - two areas deficient in access to publicly accessible open space.

Distinction through clustering and density

- Create distinctive neighbourhoods through increased residential densities and clustering of community infrastructure at key points.
- Reinforce character areas with positive attributes and reimagine character where they are absent to create a more legible structure.

Scale of intensification

Reinforce

- Northolt Village Green CA
- Down Barns Scheduled Monument
- Suburban densification

Repair

- A312 Church Road/Mandeville Road
- Grand Union Canal

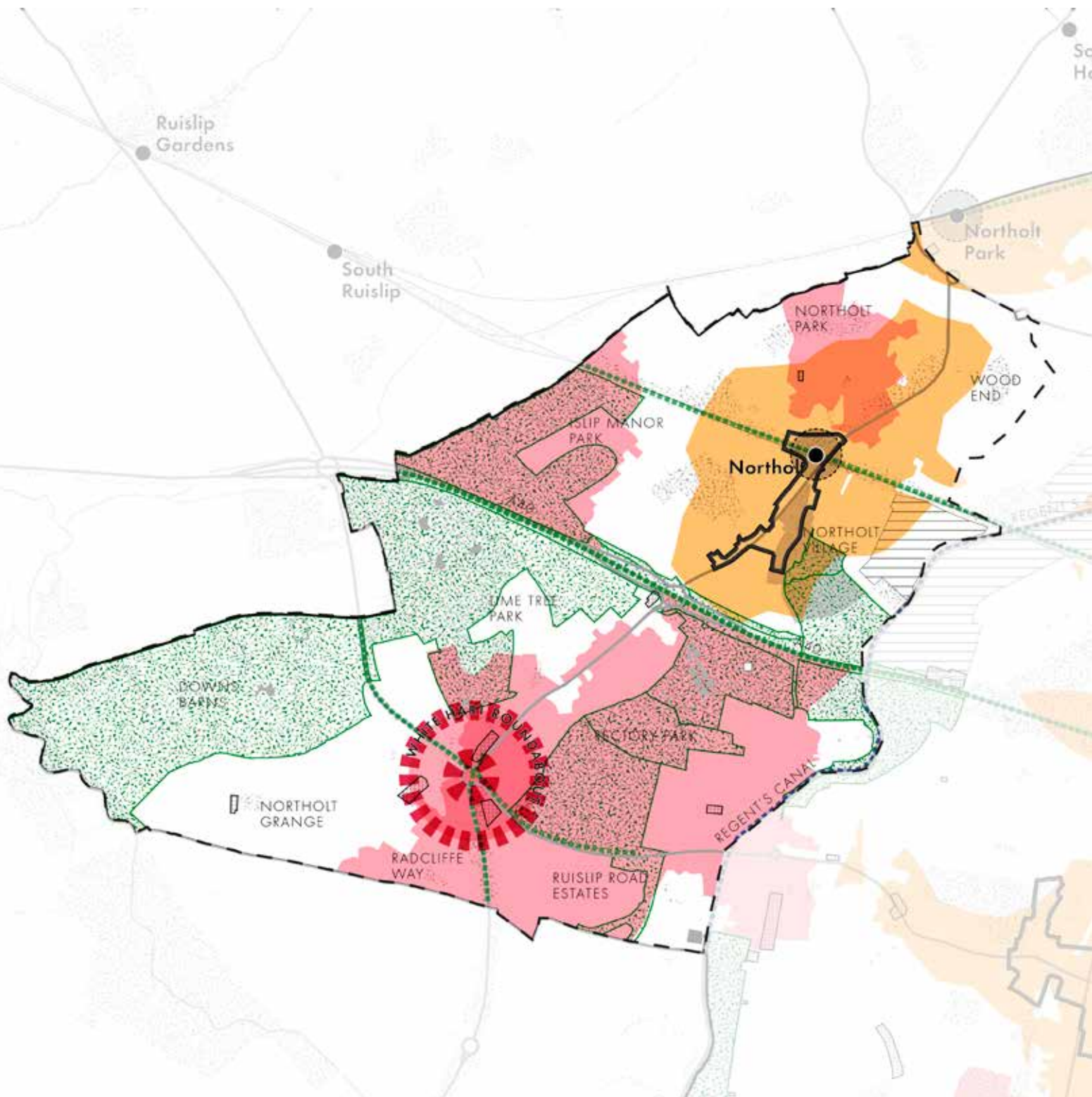
Reimagine

- Upgrade Northolt neighbourhood centre to a town centre with new development and placemaking strategy
- Consolidate and expand local parades at White Hart Roundabout to create a new town centre with mixed uses
- Underutilised or low quality green spaces

KEY

- Station
- Landmark
- Railway line
- - - Sub-area boundary
- Open space
- Green Belt
- Conservation Area
- Station intensification
- Town Centre or Neighbourhood Centre

- Local Parade
- Strategic Industrial Location
- Opportunity Area
- Strategic Area for Regeneration (SAR)
- Area of Intensification (AI)
- SAR + AI
- Green corridor
- Blue ribbon
- Strategic Regeneration Priority



Northolt framework plan

